

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD IAU, 27AIN GORFFENNAF, 2017

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

**Rhif ar yr
Agenda**

Eitem

3. **RHANBARTH Y DWYRAIN - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 5 - 36)
4. **RHANBARTH Y DE - PENDERFYNU AR GEISIADAU CYNLLUNIO.** (Tudalennau
37 - 104)
5. **RHANBARTH Y GORLLEWIN - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 105 - 154)

Yn gywir,

Mark James DYB

Prif Weithredwr

Amg.

Mae'r dudalen hon yn wag yn fwriadol



***Y PWYLLGOR
CYNLLUNIO***

27 GORFFENNAF 2017

***RHANBARTH Y
DWYRAIN***

**PLANNING
COMMITTEE**

27 JULY 2017

**AREA
EAST**



CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR APPROVAL



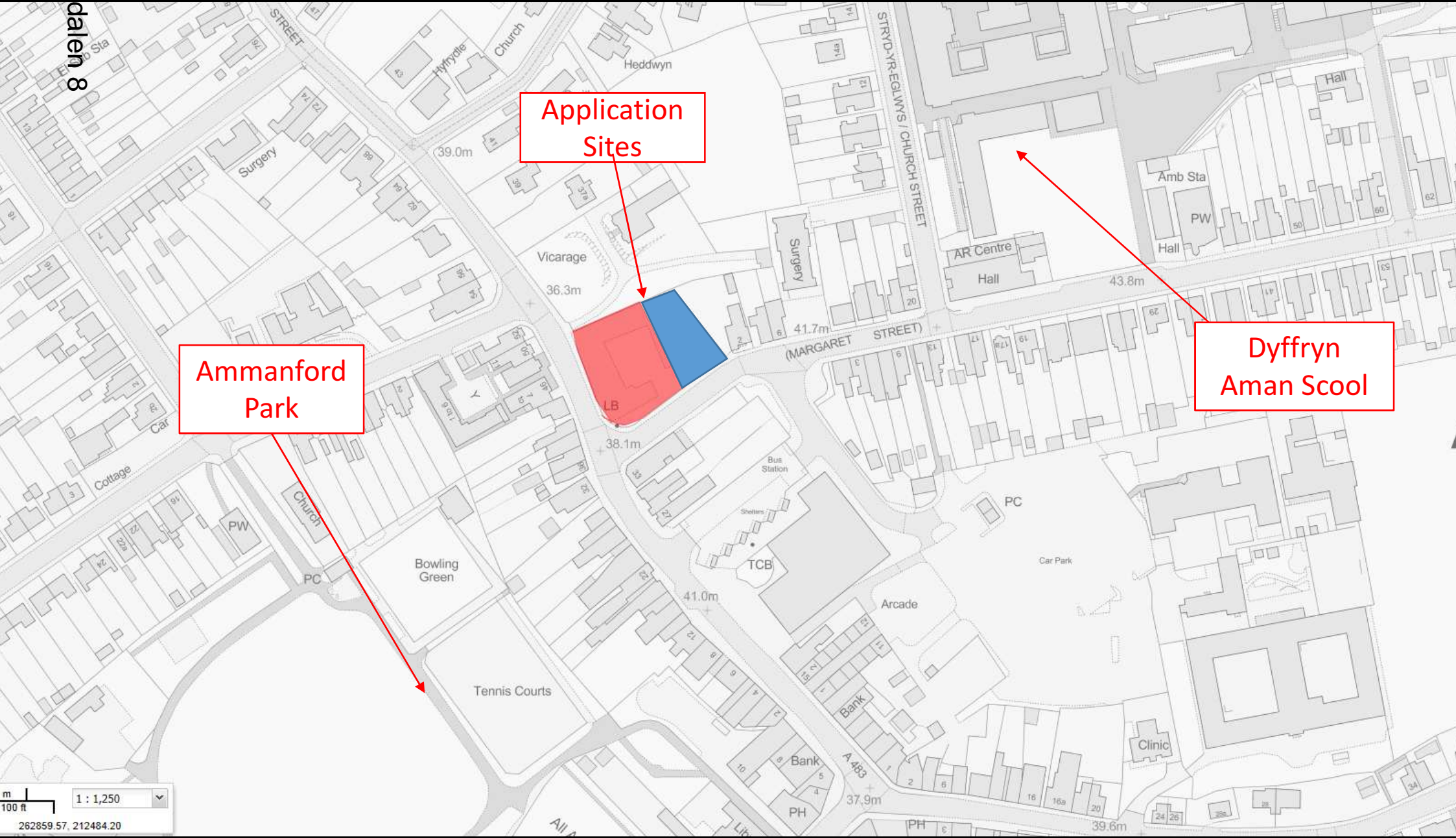
E/34907 & E/35622



E/34907 E/35622

LOCATION PLAN

Tudalen 8



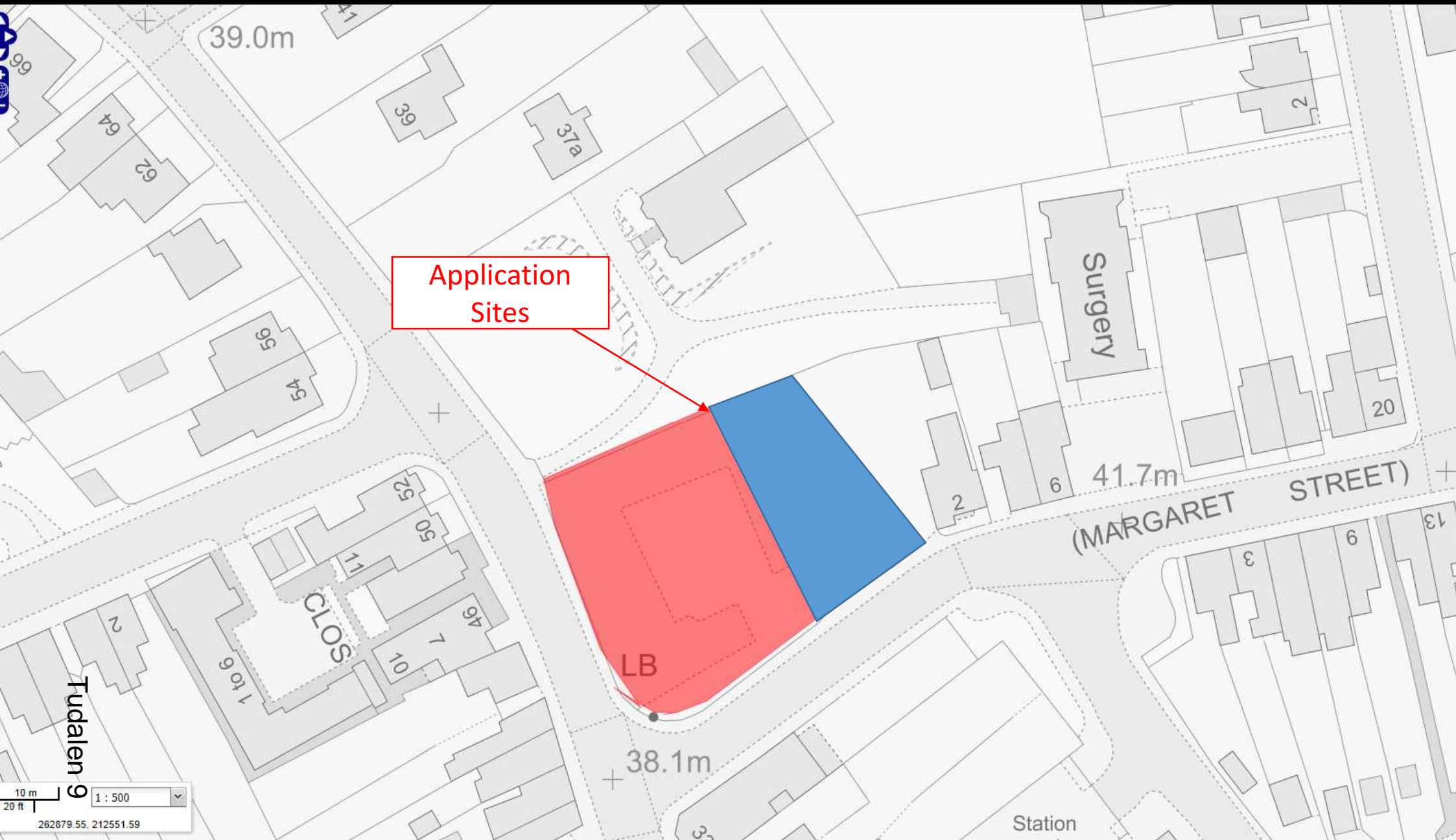
Application Sites

Ammanford Park

Dyffryn Aman Scool

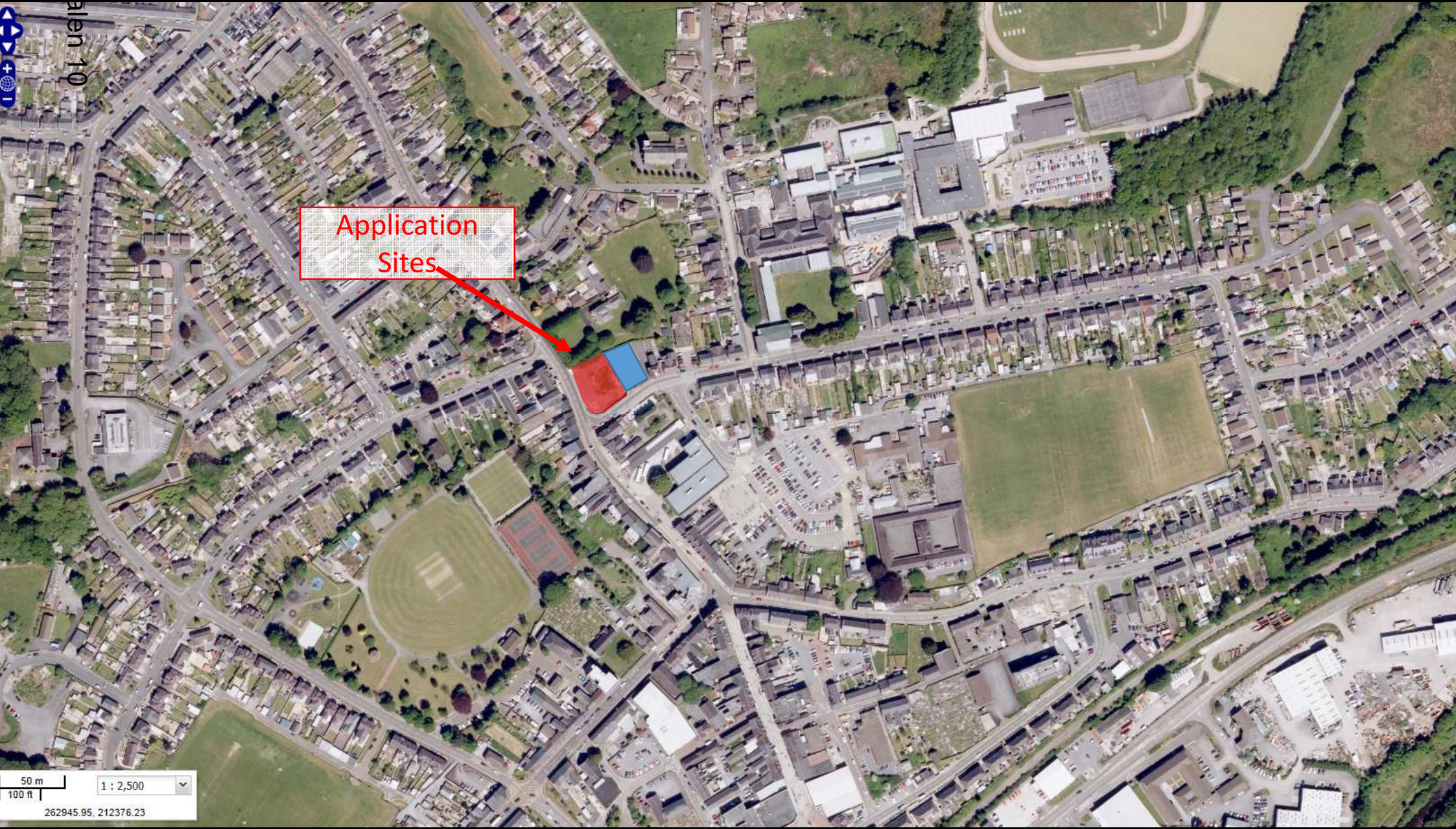
E/34907 E/35622

SITE PLAN



E/34907 E/35622

AERIAL PHOTO OF APPLICATION SITES



E/34907 E/35622

Google Streetview



Tudalen 11

E/34907 E/35622

Tuddalen 12

Google Streetview



E/34907 E/35622

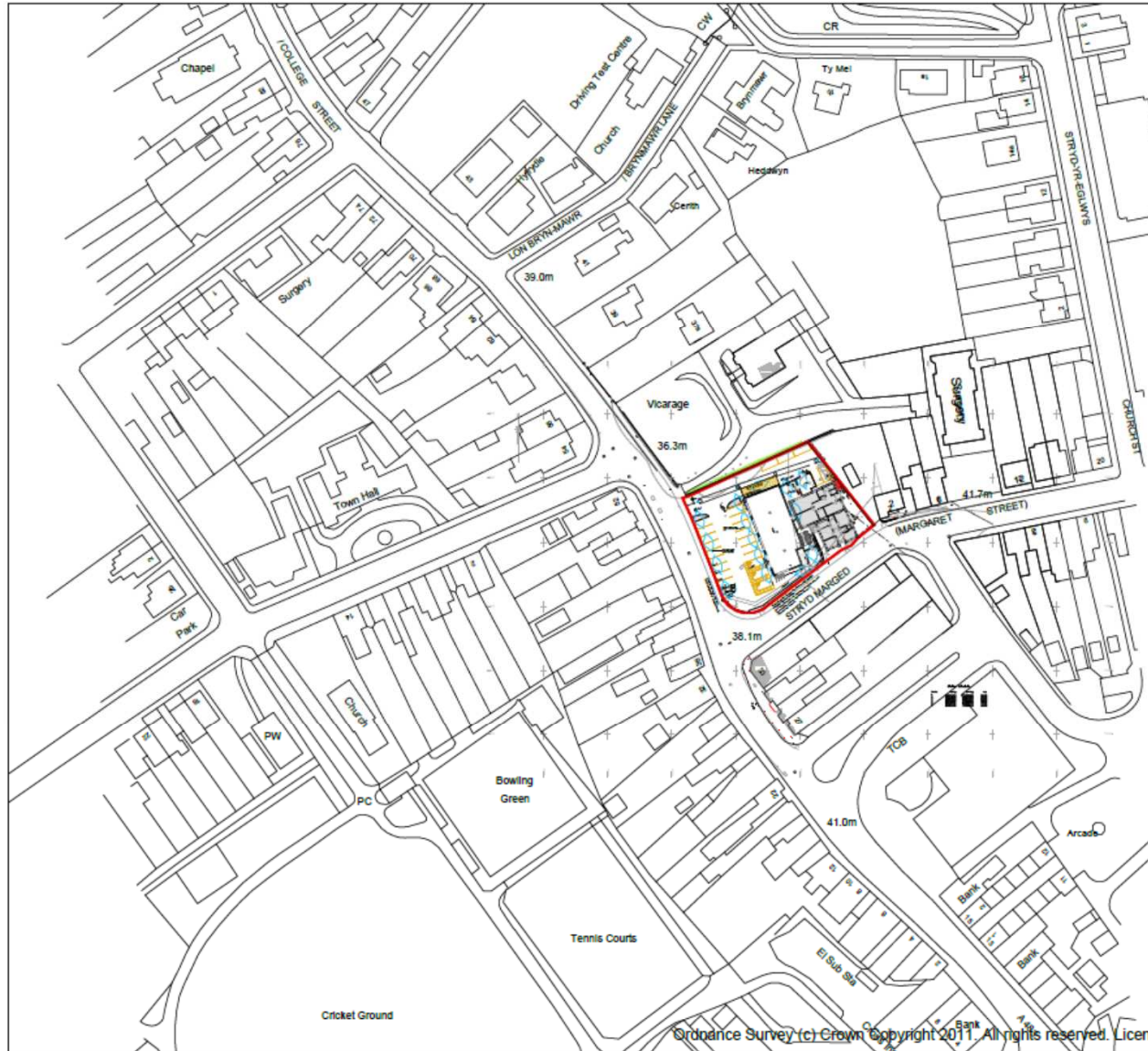
Google Streetview



Tudalen 13

E/34907

LOCATION PLAN



Paper size
A3

**DR
Design**

Architectural Services

Davies Richards Design Ltd.

Llandeilo - 01558 823351

Mumbles - 01792 347692

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WEB - www.daviesrichardsdesign.com

JOB TITLE :

Aspect developments
Former Police Station
College Street
Ammanford
SA18 2PN

Do Not Scale From This Drawing

DRAWING TITLE :

Location plan

Original paper size - A3

SCALE :

1/1250

DWG STATUS:

Planning

DRAWN BY :

CJW

DATE:

12/7/2016

PLAN No

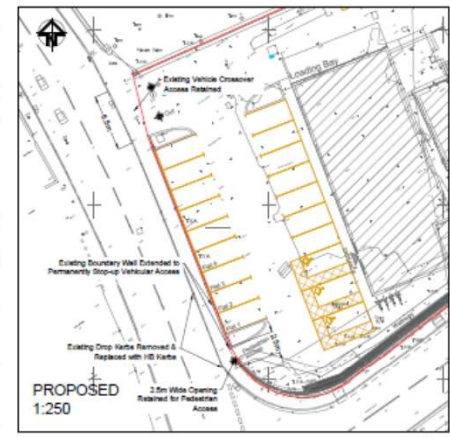
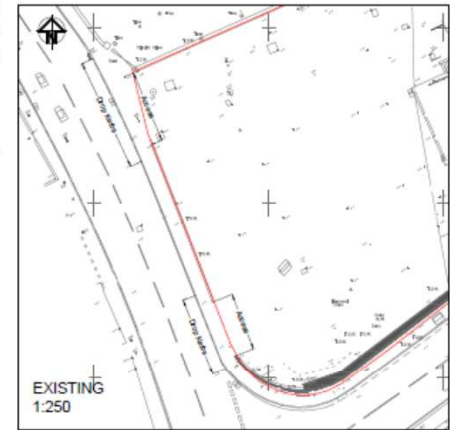
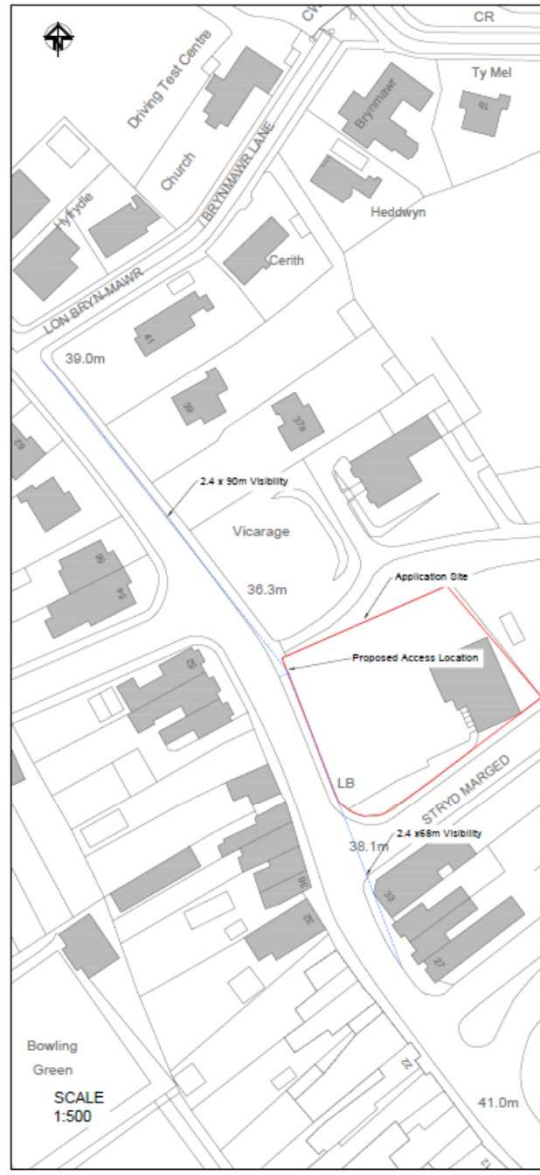
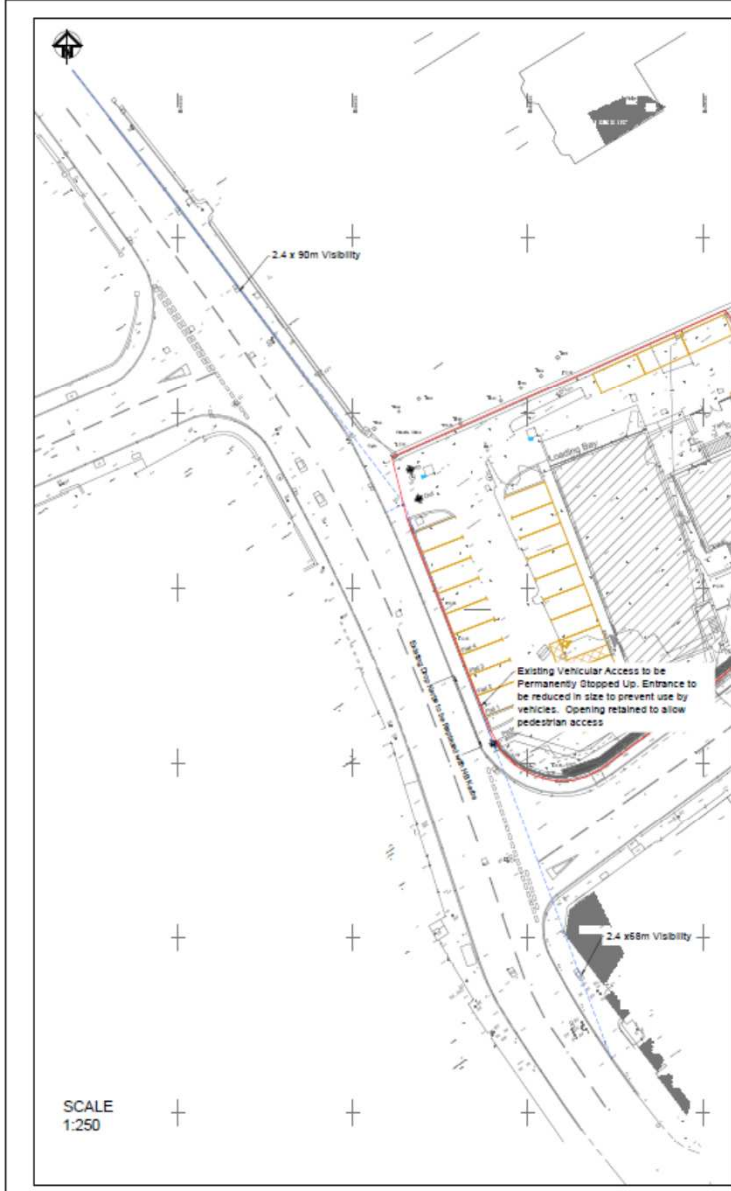
CW489/03

REVISION

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E/34907

ACCESS PLANS

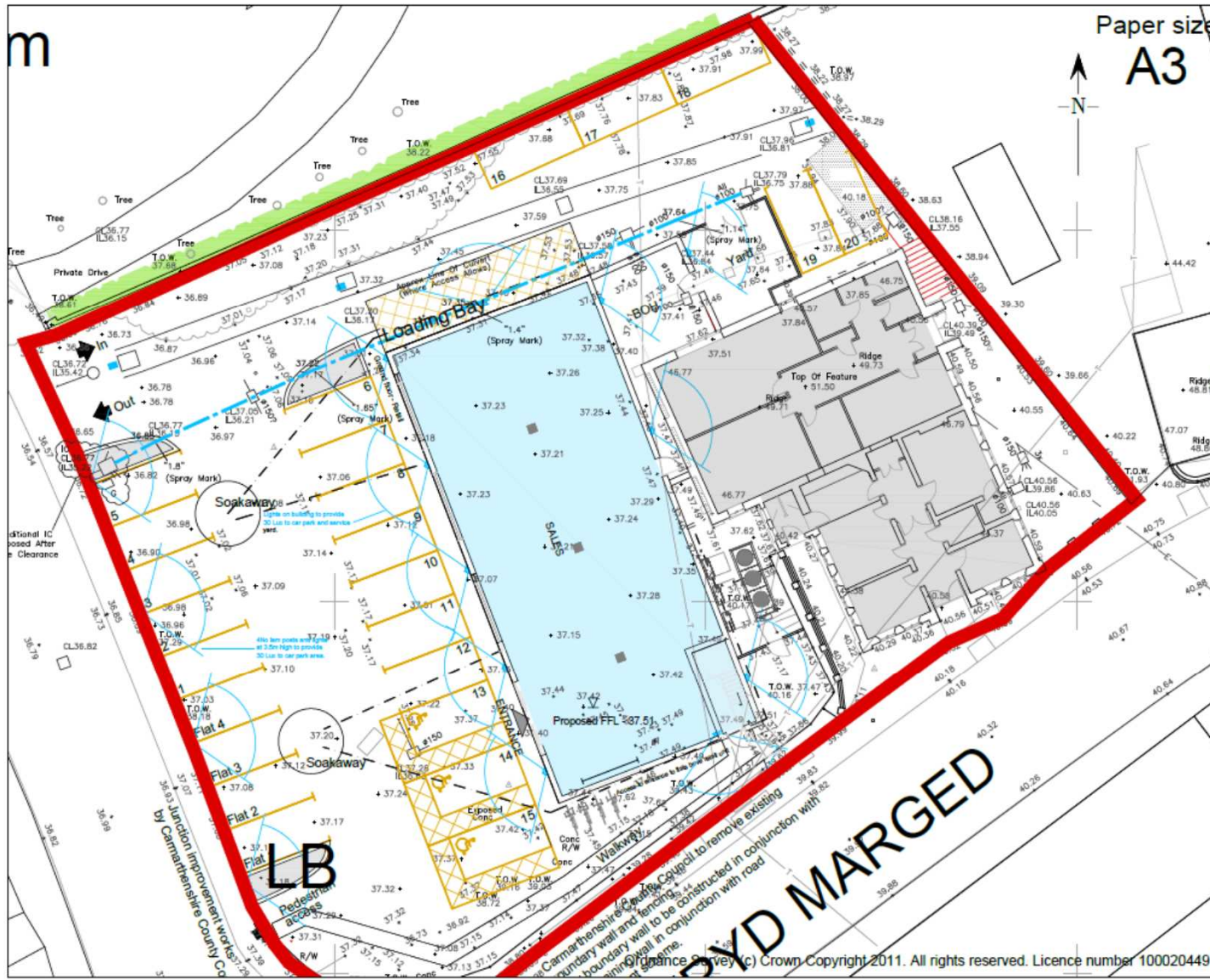


A	Final Issue	05/03/17
<p>acstro Providing a Broadband Highways & Transportation Solutions. Since 1984. 100% IT Contracted. 100% Reliable. www.acstro.com Tel: 01953 824000</p>		
<p>PROPOSED DEVELOPMENT AT FORMER POLICE STATION & COURTHOUSE, AMMANFORD</p> <p>PROPOSED ACCESS</p>		
1016	101	A
1:250 & 1:500		© A1

E/34907

SITE PLAN

Tudalen 16



Paper size
A3

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JOB TITLE :

Aspect developments
Former Police Station
College Street
Ammanford
SA18 2PN

Do Not Scale From This Drawing

DRAWING TITLE :

Site plan

Original paper size - A3

SCALE:	DWG STATUS:
1:200	Sketch
DRAWN BY:	DATE:
CJW	12/7/2016
PLAN No	REVISION
CW489/02	D

BYD MARGED

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E/34907

PROPOSED PLANS

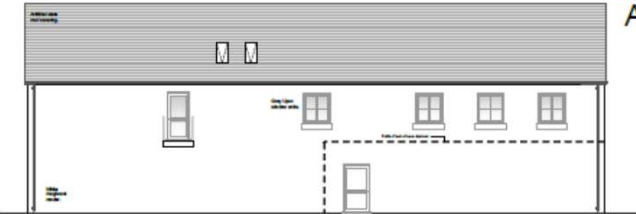
DO NOT SCALE FROM THIS DRAWING
Paper size
A1



Front elevation (W)



Side elevation (S)



Rear elevation (E)

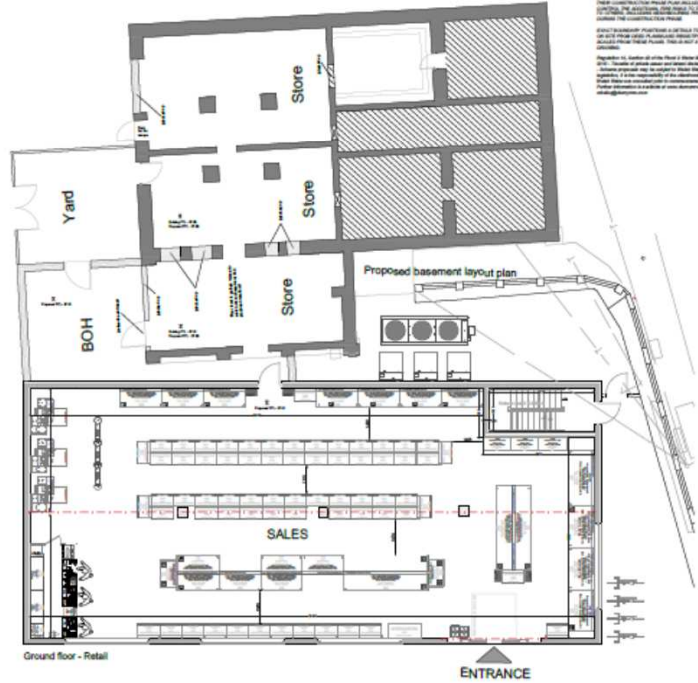


Street scene - Margaret Street

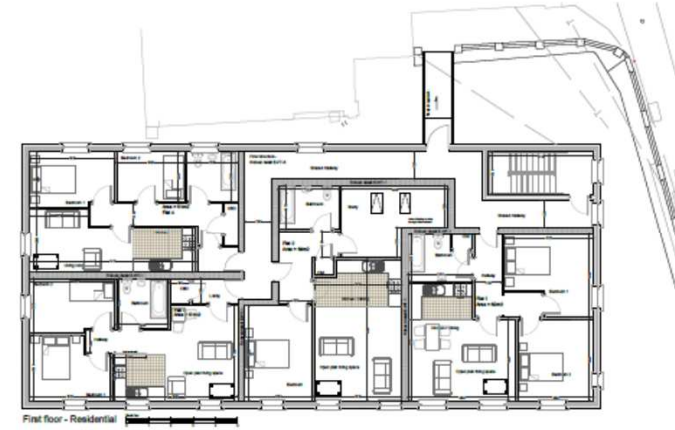
ALL DIMENSIONS TO BE CHECKED ON SITE.
IF THE PROPOSED WORK IS TO BE CARRIED OUT IN PHASES, THE ARCHITECT SHALL BE KEPT ADVISED OF THE PROGRESS OF THE WORK AND THE COMPLETION OF EACH PHASE. THE ARCHITECT SHALL BE KEPT ADVISED OF ANY CHANGES TO THE WORK AND THE COMPLETION OF EACH PHASE. THE ARCHITECT SHALL BE KEPT ADVISED OF ANY CHANGES TO THE WORK AND THE COMPLETION OF EACH PHASE.



Side elevation (N)



Ground floor - Retail



First floor - Residential

REV	DESCRIPTION	DATE
E	Basement layout added	13.17
D	Flat 4 re-design	9.2.17
C	Dormers re-positioned	15.12.16
B	Street scene added	27.10.16
A	Rooflights added	20.10.16

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CLIENT:
Aspect Developments
JOB TITLE:
Former Police Station
College street
Ammanford
SA18 2PN

DRAWING TITLE:
Propose layout plans and elevations for retail and residential unit

SCALE: 1:100 DWG STATUS: Sketch

DRAWN BY: C.J.W DATE: 3/8/2016

PLAN No: CW489/01 REVISION: E

ALL DIMENSIONS TO BE CHECKED ON SITE.

Tudalen 17

Tudalen 18

E/34907

PROPOSED PLANS



Elevation (W)



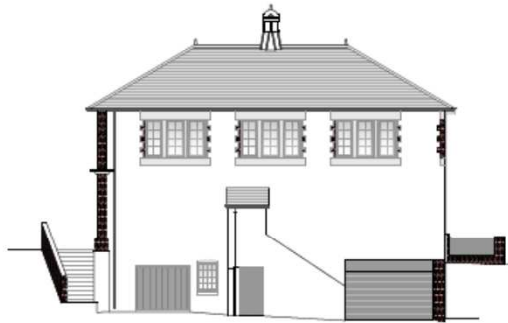
Side elevation (S)



Street scene - Margaret Street

E/35622

EXISTING PLANS



DO NOT SCALE FROM THIS DRAWING

Paper size
A1

ALL PLANS TO BE READ IN CONJUNCTION WITH ALL THE INFORMATION ACCOMPANYING THE RELEASE OF DOCUMENTATION SCHEDULE.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO LOCATE ALL SERVICES OR ITEMS PRIOR TO COMMENCEMENT OF WORK. WE HAVE NOT CHECKED LOCATION OR AVAILABILITY OF EXISTING SERVICES FOR THE PROPOSED WORK.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO ENSURE THE NECESSARY PARTY WALL ACT PROCEDURES HAVE BEEN FOLLOWED WHERE APPLICABLE.

CONSTRUCTION CLIMATE HAS BEEN TAKEN INTO ACCOUNT UNDER THE CONSERVATION ACT. PLEASE CHECK YOUR DUTIES OF THE JOB BEFORE OR CONSULT A COMPETENT HEALTH & SAFETY PROFESSIONAL.

TIMBER FRAMES FOR AN ADDITIONAL FIVE BED UNITS, THE PANELS ARE COMPLETE & PERFECTLY BY TIMBER, THE NECESSARY PLASTERWORK & GUTTERING IS ALREADY CONTRACTORS. STRUCTURAL CONTRACTORS SHOULD BE ADVISED THAT CONSTRUCTION PHASES ARE INCLUDED REGARDING TO CLADDING. THE ADDITIONAL FIVE BEDS TO BE INCORPORATED & TO CLADDING INCLUDES RE-INFORCEMENT PROPERTIES, ENSURE THE CONSTRUCTION PHASE.

EXACT BOUNDARY POSITIONS & DETAILS TO BE DETERMINED ON SITE FROM LAND RECORDS/PROVIDED DATA & NOT SCALED FROM THESE PLANS. THIS IS NOT A CONVEYANCING DOCUMENT.

Regulation 14 Section 43 of the Flood & Water Management Act 2010 - Failure of grade cover and down drainage to drain water to the ground may be required to meet water management regulations. It is the responsibility of the client/contractor to ensure these items are installed prior to commencement of work. Further information is available at www.floodwa.gov.uk/ or info@floodwa.gov.uk

D		
C		
B	FF Windows surbedged	21.3.17
A	Ceiling height shown	15.3.17
REV	DESCRIPTION	DATE

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CLIENT:
Aspect Developments

JOB TITLE:
Former Courthouse
College street
Ammanford
SA18 2PN

DRAWING TITLE:
Existing layout plans
and elevations

Original paper size - A1
SCALE: 1:100 SWG STATUS: Sketch

DRAWN BY: CJW DATE: 28/7/2016

PLAN No: CW489/10 REVISION: B

ALL DIMENSIONS TO BE CHECKED ON SITE

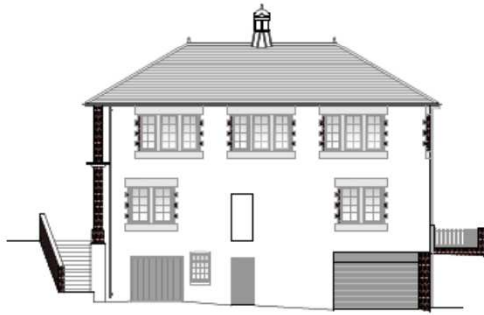
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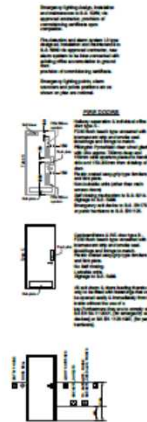
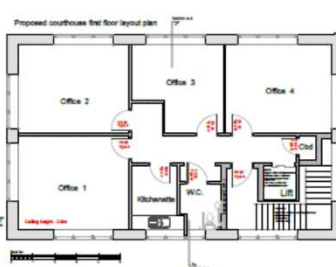
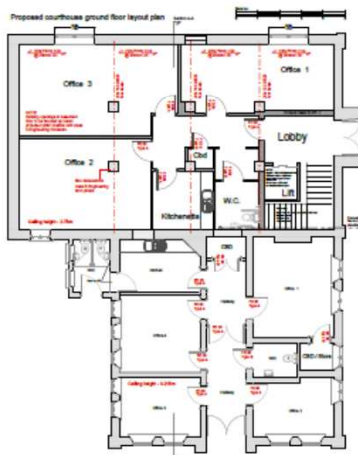
South elevation



East elevation



East elevation



NOTES RELATING TO PART B

1. Fire safety information to be provided in accordance with Regulation 38 of the Building Regulations 2010 & ASB Vol 2 (Part ACB Vol 2: 3.12 & Appendix G.)

Please note an appropriate fire assessment should be completed prior to finalising any fire safety information. This will also need to account for the safe evacuation of disabled persons in the event of an emergency. Full details of all necessary permits or site notices or other consents. Guidance on formulating the procedure document may be obtained from BS 5830.

To further assist you a selection of Fire Safety Guides are available from the advisory office or alternatively via the Department for Communities and Local Government website: www.communities.gov.uk

2. An electrically operated fire alarm system should comply with BS 5830-1:2013 (Fire detection and alarm systems for buildings. Code of practice for system design, installation, commissioning and maintenance. Refer to be included to Category L3 standard).

3. A suitable method of warning (e.g. a siren and suitable fire alarm signs) should be provided in buildings where it is anticipated that one or more persons with impaired hearing may be in the building. Such signs should be in an easily accessible location.

Clause 10 of BS 5830-1:2013 provides detailed guidance on the design and selection of the alarm warning for people with impaired hearing.

4. BS 5830 also provides for the selection and fire alarm systems are used to initiate the operation, or change of state, of other systems, such as smoke control systems, fire extinguishing systems, weather strip systems for mechanically ventilated roofs and electrically operated shut doors, it is essential that the interface between the fire alarm system and the alarm system and any other system required for completion with the building they interface is designed to achieve a high degree of reliability. Particular care should be taken if the interface is achieved via another system, such as a smoke control system, where any part of BS 5830 applies to selection of other systems, the recommendations of the standard should be followed.

5. Sec 5.7 Fire alarms are not to be used for any other purpose. They are not to be used where disabled people should be self-evacuating and self-aided by the fire and rescue service, or until the fire is extinguished.

A refuge should be provided for each protected stairway affording access from each store, except where complying with category of protected store.

Sec 5.9 Each refuge should provide an area accessible to a wheelchair or user within a 4.5m x 1.8m area of the refuge. Where a refuge is a protected stairway or protected store of protected store, the wheelchair space should be situated at the wide end of the refuge. The wheelchair space should be protected, sealed, located to the wheelchair space should not obstruct the flow of persons using the refuge.

Sec 5.11 To facilitate the effective evacuation of people from refuges an emergency voice communication (EVC) system should be provided. It is essential that the occupants of each refuge are able to seek other pages that they are in need of assistance and for them to be instructed that the evacuation will be continuing.

Sec 5.12 The EVC system should comply with BS5830-6:2003 and consist of Type B sub-stations which communicate with a master station located in the building control room (where one is readily adjacent to the fire alarm panel).

Sec 5.13 In some buildings it may be more appropriate to use an alternative approach such as the use of wireless technology.

4. Door schedules to be provided.

Sec 5.11 All exit doors and doors leading thereto are only to be fitted with hardware that can be opened readily and immediately from the side approached by people using that means of egress, where a secure door is operated by a code, combination, keypad or proximity card, equipment used on either side, it should also be capable of being operated from the side approached by people making their escape.

Electrically powered locks should return to the unpowered position:

- on operation of the fire alarm system;
- on loss of power or system error;
- on activation of a manual door release unit (Type A) to BS 5830-6:11:2003 positioned at the door on the side approached by people making their escape. Where the door provides escape in other direction, a unit should be installed on both sides of the door.

Sec 5.17 Floor plates are needed where doors or ramps make such a change of direction, or where any door is being to swing both ways. Note that the provisions in Approved Document B do not apply to doors of buildings containing water pipes or doors not self-closing.

Sec 5.18 All escape routes should have adequate lighting. Routes and areas listed in Table 14 should also have escape lighting which fulfils the Code of Practice which this briefing material refers to design hierarchy table.

Lighting for escape routes should be on a separate circuit from that supplying any other part of the building.

Sec 5.19 Provide a supplementary warning system which has been shown by test to maintain the resistance of the wall, floor or ceiling barrier.

Alternative (i): Proprietary needs only (see clause 10)

Sec 11.7 Provide a proprietary warning system as set out. The glazing may be used around the pipe, leaving the opening as small as possible. This cannot be done if the pipe is in a wall. It should be shown that the hazard (document 10) is Table 14.

The diagrams given in Table 14 for pipes of specification (2) used in situation (2) assume that the pipes are set off from doors through escape routes and are enclosed in clear in Diagram 10 if they are not, the smaller diameter given for situation (3) should be used.

Alternative (2): Glazing

Sec 11.8 A pipe of steel, aluminium, stainless steel, fibreglass or PVC with a maximum nominal outer diameter of 100mm, may be used with a sleeve of non-combustible pipe as shown in Diagram 10. The specification for non-combustible PVC pipe is given in the code in Table 14.

ALL DIMENSIONS TO BE CHECKED ON SITE.

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Paper size
A1

ALL PLANS TO BE MADE IN CONJUNCTION WITH ALL THE INFORMATION ACCOMPANYING THE RELEASE OF DOCUMENTATION OTHERWISE.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO CHECK ALL SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS. WE HAVE NOT CHECKED LOCATION OR DEPTH OF SERVICES SERVICES FOR THE PROPOSED WORKS.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO ENSURE THE NECESSARY PARTY WALL ACT PROCEDURES HAVE BEEN FOLLOWED WHERE APPLICABLE.

CONTRACTOR CLIENTS HAVE LEGAL DUTY UNDER THE CONSTRUCTION (DESIGN AND MANAGEMENT) ACT 2004 TO CHECK THE ADDITIONAL AND ADD TO THEIR RESPONSIBILITIES TO ENSURE THE NECESSARY PARTY WALL ACT PROCEDURES HAVE BEEN FOLLOWED WHERE APPLICABLE.

CONTRACTOR CLIENTS HAVE LEGAL DUTY UNDER THE CONSTRUCTION (DESIGN AND MANAGEMENT) ACT 2004 TO CHECK THE ADDITIONAL AND ADD TO THEIR RESPONSIBILITIES TO ENSURE THE NECESSARY PARTY WALL ACT PROCEDURES HAVE BEEN FOLLOWED WHERE APPLICABLE.

EXACT BOUNDARY POSITIONS A DETAIL TO BE DETERMINED ON THE PROPOSED PLANS AND HOISTED DATA & NOT SCALE FROM THESE PLANS. THIS IS NOT A CONSTRUCTION DRAWING.

Regulation 14, Section 12 of the Road & Motor Transport Act 2002: Failure of private sewer and storm drainage to meet Water Quality standards may be subject to local authority enforcement. It is the responsibility of the client/contractor to ensure that the sewer and storm drainage is maintained in accordance with the relevant standards.

Further information is available at www.dra.gov.uk or info@dra.gov.uk

D	FF WC layout	21.3.17
C	FF Windows surveyed	21.3.17
B	B Regs details	20.3.17
A	Fire escape omitted	20.10.16
REV	DESCRIPTION	DATE

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E: info@drdesign.co.uk
www.drdesign.co.uk

CLIENT:
Aspect Developments

JOB TITLE:
Former Courthouse
College Street
Ammanford
SA18 2PN

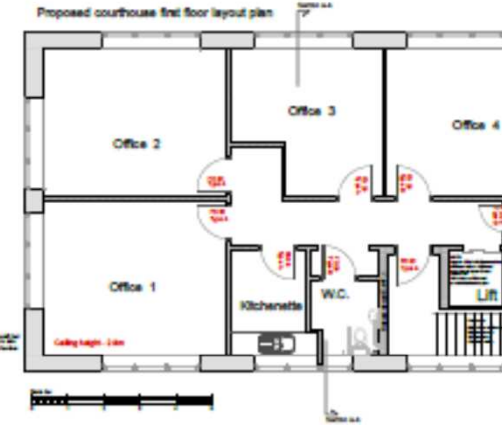
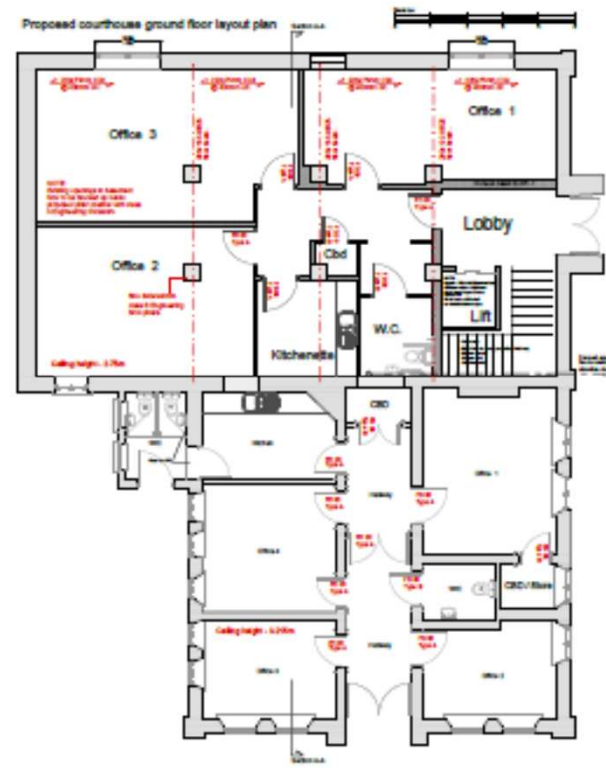
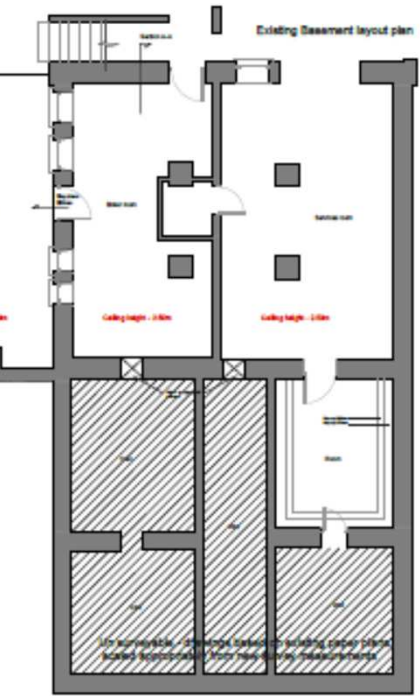
DRAWING TITLE:
Proposed layout plan
and elevations

Scale: 1:100
DWG STATUS: Sketch

DRAWN BY: C.J.W. DATE: 28/7/2016

PLAN No: CW489/11
REVISION: D

E/35622

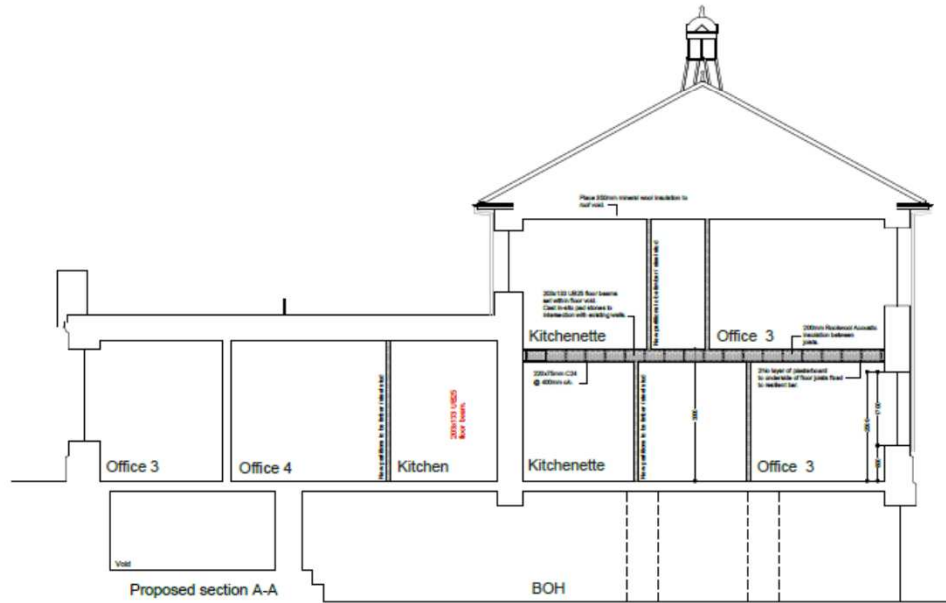
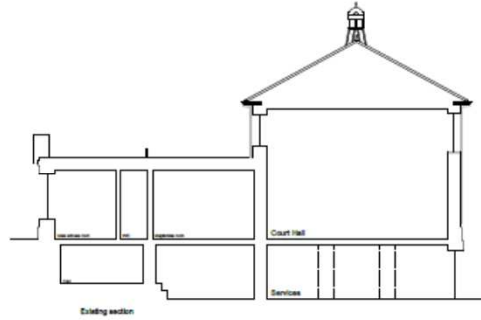


EXISTING

PROPOSED

E/35622

PROPOSED SECTION PLANS



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IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO SECURE THE NECESSARY PARTY WALLS AND PROCEDURES HAVE BEEN FOLLOWED WHERE APPLICABLE.

CONTRACTOR QUOTE HAVE JARAL, SURVEY UNDER THE TIME REGULATION 2016. PLEASE CHECK YOUR QUOTE OF THE WORK NEEDS TO BE COMPLETED BY A COMPETENT HEALTH & SAFETY PROFESSIONAL.

TEMPERATURES ACROSS AN ADDITIONAL AREA AREA UNITS. THE PROPOSED AND CONSTRUCTION OF PROTECTIVE STRUCTURES FROM PROTECTIVE PLANS (PROTECTIVE & EXTERNAL CLADDING) CONTRACTORS / PROPOSAL CONTRACTORS SHOULD CONSULT THEIR CONSTRUCTION PHASE PLANS AND BE RESPONSIBLE TO NOTIFY THE ADDITIONAL PROPOSED TO THESE PROPOSED TO CHANGING, INCLUDING MANUFACTURING PROCEDURES, DURING THE CONSTRUCTION PHASE.

EXACT NECESSARY POSITIONS & DETAILS TO BE DETERMINED ON THE PROPOSED PLANS AND THESE MUST BE CHECKED AND NOT SCALE FROM THESE PLANS. THIS IS NOT A CONSTRUCTION DRAWING.

Regulation 14, Section 42 of the Flood & Water Management Act 2016. For details of private sewer and storm drainage & flood water drainage provisions that the subject is liable to make under appropriate legislation, it is the responsibility of the client/contractor to ensure where relevant are consulted prior to commencement of work. Further information is available at www.dra.gov.uk or info@dra.gov.uk

D		
C		
B		
A		

REV	DESCRIPTION	DATE
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DR
Design

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Mumbles - 01792 347622

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WEB - www.daviesrichardsdesign.com

CLIENT:
Aspect Developments

JOB TITLE:
Former Courthouse
College street
Ammanford
SA18 2PN

DRAWING TITLE
Section details

Scale: 1:100 (DW STATUS: Sketch)

Drawn by: C-JW Date: 28/7/2016

PLAN No
CW489/12

E/34907

SITE PHOTO



E/34907

SITE PHOTO



E/34907

SITE PHOTO



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SITE PHOTO



E/34907

SITE PHOTO



Tudalen 30

E/35622

SITE PHOTO



E/35622

SITE PHOTO



Tudalen 32

E/35622

SITE PHOTO



E/35622

SITE PHOTO



Tudalen 33

E/35622

SITE PHOTO

Tudalen 34



E/35622

SITE PHOTO



Mae'r dudalen hon yn wag yn fwriadol

*Ardal Del/
Area South*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 27 GORFFENNAF 2017
ON 27 JULY 2017**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area South

<i>Application Number</i>	S/34537
<i>Proposal & Location</i>	CONSTRUCTION OF 8 HOUSES TOGETHER WITH ASSOCIATED VEHICULAR AND PEDESTRIAN ACCESSES, CAR PARKING, LANDSCAPING, DRAINAGE AND OTHER ANCILLARY DEVELOPMENT AT LAND ON EASTERN SIDE OF, HEOL BRONALLT, HENDY, LLANELLI

DETAILS:

CONSULTATIONS

Neighbours/Public – One further letter of objection has been received raising the following further objections:

- The drainage strategy report is questioned where the proposal includes an infiltration swale as a “factor of safety”
- Concern that the development would exacerbate any surface water run-off through increased ground water seepage and arises by the lateral movement of water.
- It is documented on the property particulars for certain houses on Clayton Road that there is a well in the field behind.
- Where is evidence to show that there are no underground streams beneath or below the application site?
- The presence past coal workings in the area can exacerbate ground water problems.
- The wisdom of vesting responsibility for the surface water system with a private company is questioned.
- The inclusion of an exclusion clause in the drainage report further heightens concerns expressed.

The submitted Drainage Strategy Report has been subject to consultation with the authority’s own Drainage Section, Welsh Water and NRW and has elicited no objection.

CONDITIONS

The applicant has submitted a number of amended plans correcting a number of anomalies in the original plans.

The submission of these updated Plans require consequential changes to the wording of condition no. 2 contained in the main report presented to the Committee. Also, condition no. 7 in the report shall be amended to read as follows, together with the inclusion of a

further supplementary condition no. 16. The revised and additional conditions are as follows:

2. The development shall be carried out in accordance with the following approved plans and documents:

- Location plan referenced PAS01 REV 01 received on 29 June 2017
- Block Plan Phase 1 drawing referenced PAS02 REV 04 received on 21 July 2017.
- Existing levels drawing referenced PAS56 REV 0 received on 29 June 2017.
- Proposed levels drawing referenced PAS57 REV 02 received on 21 July 2017.
- Visibility splays drawing referenced PAS50 REV 03 received on 29 June 2017.
- Parking and splays drawing referenced PAS50a REV 03 received on 21 July 2017.
- Pedestrian visibility splays drawing referenced PAS50b REV 04 received on 21 July 2017.
- Vertical visibility envelope drawing referenced PAS50c REV 01 received on 29 June 2017.
- Drainage Strategy Report referenced C0675/R2 dated June 2017 received on 29 June 2017.
- Plot 6 Ground floor drawing referenced PAS29 REV01 received on 20 December 2016.
- Plot 6 First Floor Plan drawing referenced PAS30 REV 01 received on 20 December 2016.
- Plot 6 Roof plan drawing referenced PAS33 REV 01 received on 20 December 2016.
- Plot 6 Elevations drawing referenced PAS31 REV 01 received on 20 December 2016.
- Plot 6 Cross Sections drawing referenced PAS32 REV 01 received on 20 December 2016.
- Reptile Survey Report referenced GHD081116 received on 15 November 2016.
- Dust Pollution Prevention Statement dated November 2016 received on 29 June 2017.
- Plot 7 elevations referenced PAS 38 REV 02 received on 18 July 2017.
- Plot 7 elevations referenced PAS 39 REV 02 received on 18 July 2017.

- Plot 7 basement plan referenced PAS 34 REV 02 received on 19 July 2017.
- Plot 7 ground floor plan referenced PAS 35 REV 02 received on 19 July 2017.
- Plot 7 garage plan referenced PAS 37 REV 02 received on 19 July 2017.
- Plot 7 first floor plan referenced PAS 36 REV 02 received on 19 July 2017.
- Plot 7 roof plan referenced PAS 41 REV 02 received on 19 July 2017.
- Plot 7 section referenced PAS 40 REV 02 received on 19 July 2017.
- Plot 8 elevations referenced PAS 46 REV 02 received on 21 July 2017.
- Plot 8 elevations referenced PAS 47 REV 02 received on 21 July 2017.
- Plot 8 basement plan referenced PAS 42 REV 02 received on 21 July 2017.
- Plot 8 ground floor plan referenced PAS 43 REV 02 received on 21 July 2017.
- Plot 8 garage plan referenced PAS 45 Rev 02 received on 21 July 2017.
- Plot 8 first floor plan referenced PAS 44 REV 02 received on 21 July 2017.
- Plot 8 roof plan referenced PAS 49 REV 02 received on 21 July 2017.
- Plot 8 section referenced PAS 48 REV 02 received on 21 July 2017.
- Plot 1 elevations referenced PAS 06 REV 01 received on 26 September 2016.
- Plot 1 first floor plan referenced PAS 05 REV 01 received on 26 September 2016.
- Plot 1 ground floor plan referenced PAS 04 REV 01 received on 26 September 2016.
- Plot 1 roof plan referenced PAS 08 REV 01 received on 26 September 2016.
- Plot 1 typical section referenced PAS 07 REV 01 received on 26 September 2016.
- Plot 1 garage elevations referenced PAS 57 REV 02 received on 21 July 2017.
- Plot 1 garage plan referenced PAS 56 REV 02 received on 21 July 2017.
- Plot 1 garage roof plan referenced PAS 58 REV 02 received on 21 July 2017.
- Plot 2 elevations referenced PAS 11 REV 01 received on 26 September 2016.

- Plot 2 first floor plan referenced PAS 10 REV 01 received on 26 September 2016.
- Plot 2 ground floor plan referenced PAS 09 REV 01 received on 26 September 2016.
- Plot 2 roof plan referenced PAS 13 REV 01 received on 26 September 2016.
- Plot 2 typical section referenced PAS 12 REV 01 received on 26 September 2016.
- Plot 3 elevations referenced PAS 16 REV 01 received on 26 September 2016.
- Plot 3 first floor plan referenced PAS 15 REV 01 received on 26 September 2016.
- Plot 3 ground floor plan referenced PAS 14 REV 01 received on 26 September 2016.
- Plot 3 roof plan referenced PAS 18 REV 01 received on 26 September 2016.
- Plot 3 sections referenced PAS 17 REV 01 received on 26 September 2016.
- Plot 4 elevations referenced PAS 21 REV 00 received on 26 September 2016.
- Plot 4 first floor plan referenced PAS 20 REV 00 received on 26 September 2016.
- Plot 4 ground floor plan referenced PAS 19 REV 00 received on 26 September 2016.
- Plot 4 roof plan referenced PAS 23 REV 00 received on 26 September 2016.
- Plot 4 section referenced PAS 22 rev 01 received on 26 September 2016.
- Plot 3 and 4 garage elevations referenced PAS 51 REV 01 received on 26 September 2016.
- Plot 3 and 4 garage plan referenced PAS 50 REV 01 received on 26 September 2016.
- Plot 3 and 4 roof plan referenced PAS 52 REV 01 received on 26 September 2016.
- Plot 5 elevations referenced PAS 26 REV 00 received on 26 September 2016.
- Plot 5 first floor plan referenced PAS 25 REV 00 received on 26 September 2016.
- Plot 5 garage elevations referenced PAS 54 REV 01 received on 26 September 2016.

- Plot 5 garage plan referenced PAS 53 REV 01 received on 26 September 2016.
 - Plot 5 garage roof plan referenced PAS 55 REV 01 received on 26 September 2016.
 - Plot 5 ground floor plan referenced PAS 24 REV 00 received on 26 September 2016.
 - Plot 5 roof plan referenced PAS 28 REV 00 received on 26 September 2016.
 - Plot 5 section referenced PAS 27 REV 00 received on 26 September 2016.
 - Geotechnical and Geo-Environmental Site Investigation Report referenced 13706 received on 27 September 2016.
 - Preliminary Ecological Appraisal prepared by ECOSA dated August 2016 received on 26 September 2016.
7. No development or site clearance shall take place until an appropriate and comprehensive Detailed Landscape Design Scheme, has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include the indication of all existing trees (including spread and species) and hedgerows on the land, identify those to be retained and set out measures for their protection throughout the course of development, together with detailed design proposals which effectively integrate appropriate site specific landscape, ecological and biodiversity objectives and functions and shall be in compliance with relevant guidance as provided by the Local Planning Authority.
16. The Detailed Landscape Design Scheme as submitted to discharge condition 7 shall be fully implemented prior to the occupation of any dwelling on the development site. Any new landscape elements constructed, planted or seeded; or existing landscape elements retained; in accordance with the approved Detailed Landscape Design Scheme which, within a period of 5 years after implementation are removed; die; become diseased; damaged or otherwise defective, to such extent that, in the opinion of the Local Planning Authority, the function of the landscape elements in relation to this planning approval is no longer delivered, shall be replaced in the next planting or seeding season with replacement elements of similar size and specification.

REASONS

- 2 To ensure that only the approved works are carried out
- 7 & 16 To ensure the provision, establishment and maintenance of a suitable landscape scheme.

ADDENDUM – Area South

<i>Application Number</i>	S/35403
<i>Proposal & Location</i>	OUTLINE APPLICATION FOR RESIDENTIAL DEVELOPMENT AT LAND ADJACENT TO, 32 ERW TERRACE, BURRY PORT, LLANELLI, CARMARTHENSHIRE, SA16 0DA

CONSULTATIONS

Local Member – County Councillor A Fox has advised that she along with County Councillor J James have met with residents of Erw Terrace and Penybryn Avenue to discuss their concerns and objections.

Councillor A Fox fully supports their objections as this area is the parking area for the residents who live in both streets. The parking is a major issue on both roads leading to the application site. Emergency vehicles would have great difficulty accessing the area. The land needs to stay as parking for the community.

Pembrey and Burry Port Town Council – Object on the basis that this site has been used for parking for the last 50 years.

Additional Condition – Members will have noted that the main body of the Planning Committee report recommends the imposition of a condition requiring the submission of a scheme of eradication for Japanese Knotweed, however this was not subsequently listed in the conditions part of the report.

Therefore Condition 13 should be imposed and should read as follows:-

Condition

The development hereby permitted shall not be commenced (including any ground works or site clearance) until details of a scheme to eradicate and prevent the spread of invasive species has been submitted to and approved in writing by the local planning authority. Furthermore works should be implemented in accordance with the approved scheme.

Reason

To eradicate and prevent the spread of an invasive species

ADDENDUM – Area South

<i>Application Number</i>	S/35440
<i>Proposal & Location</i>	RESIDENTIAL DEVELOPMENT - DEMOLITION OF EXISTING BUNGALOW & REPLACE WITH 3 BEDROOM RESIDENTIAL DWELLING AT O'KEIP, OCEAN VIEW, BURRY PORT, CARMARTHENSHIRE, SA16 0DW

DETAILS:

CONSULTATIONS

Drainage Engineer – Whilst acknowledging the results of the percolation tests the Land Drainage Team express reservations over the use of soakaways on a terraced site. There are no records of flooding incidents in the locality and whilst the Land Drainage Team does not have any technical information to justify their stance, they do have experience of such developments and the issues that can potentially occur.

The Agent has confirmed that the surface water runoff from the existing dwelling enters the combined sewer system and hence the proposal to use soakaways to achieve betterment in comparison to the existing situation.

In light of the above, it is recommended that the following condition is imposed requiring full details of surface water drainage to be agreed by the Local Planning Authority:-

Condition 9

No building shall be occupied until surface water drainage works have been implemented in accordance with details that have been submitted to and approved in writing by the local planning authority. Before these details are submitted, an assessment shall be carried out of the site potential for disposing of surface water by means of a sustainable drainage system, and the results of the assessment provided to the local planning authority. Where a sustainable drainage scheme is to be provided, the submitted details shall:

- i) provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii) include a period for its implementation; and
- iii) provide a management and maintenance plan of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

Reason

To ensure a satisfactory form of surface water drainage.

***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

27 GORFFENNAF 2017

27 JULY 2017

RHANBARTH Y DE

AREA SOUTH

Tudalen 45

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

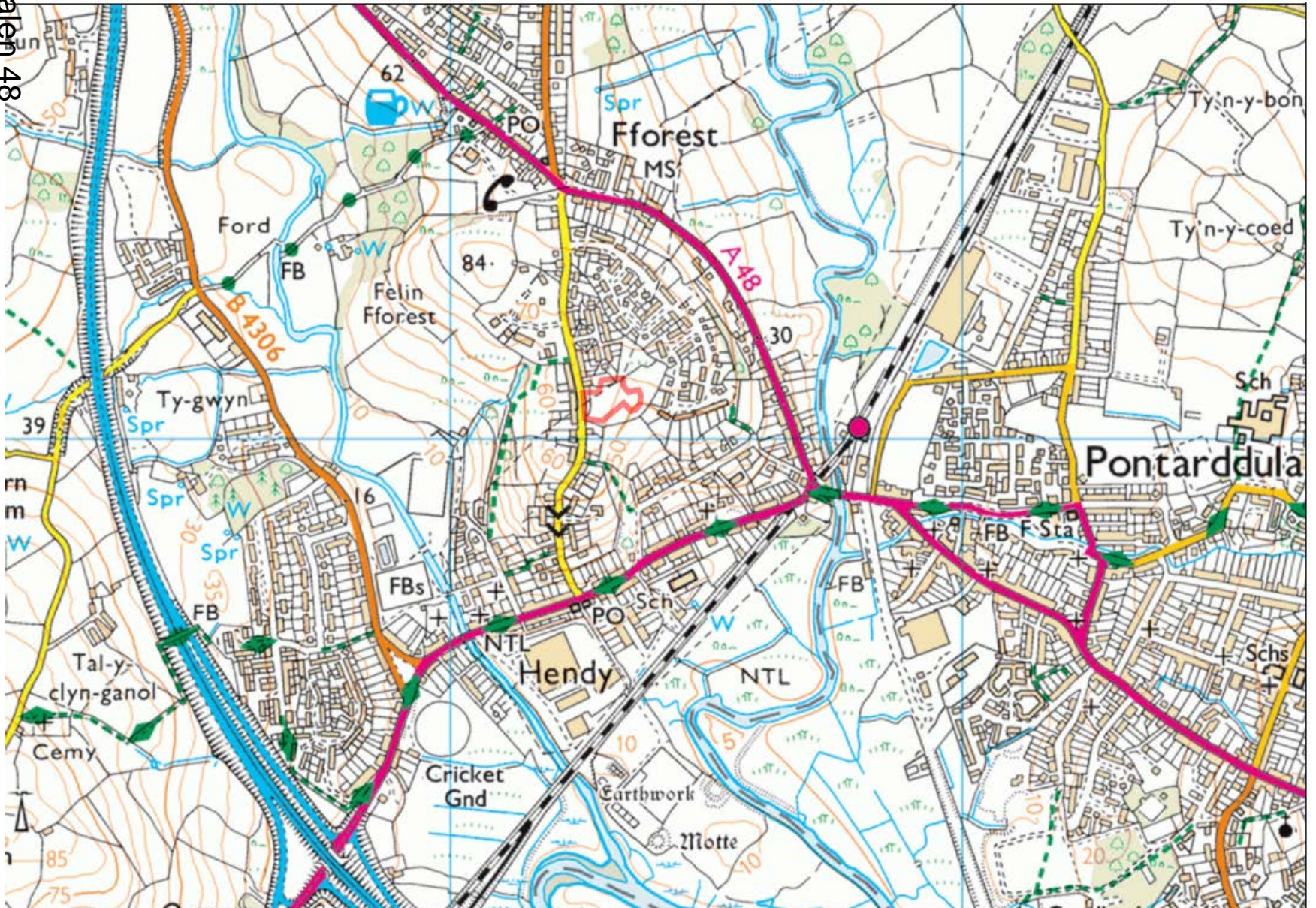
APPLICATIONS RECOMMENDED FOR APPROVAL

S/34537

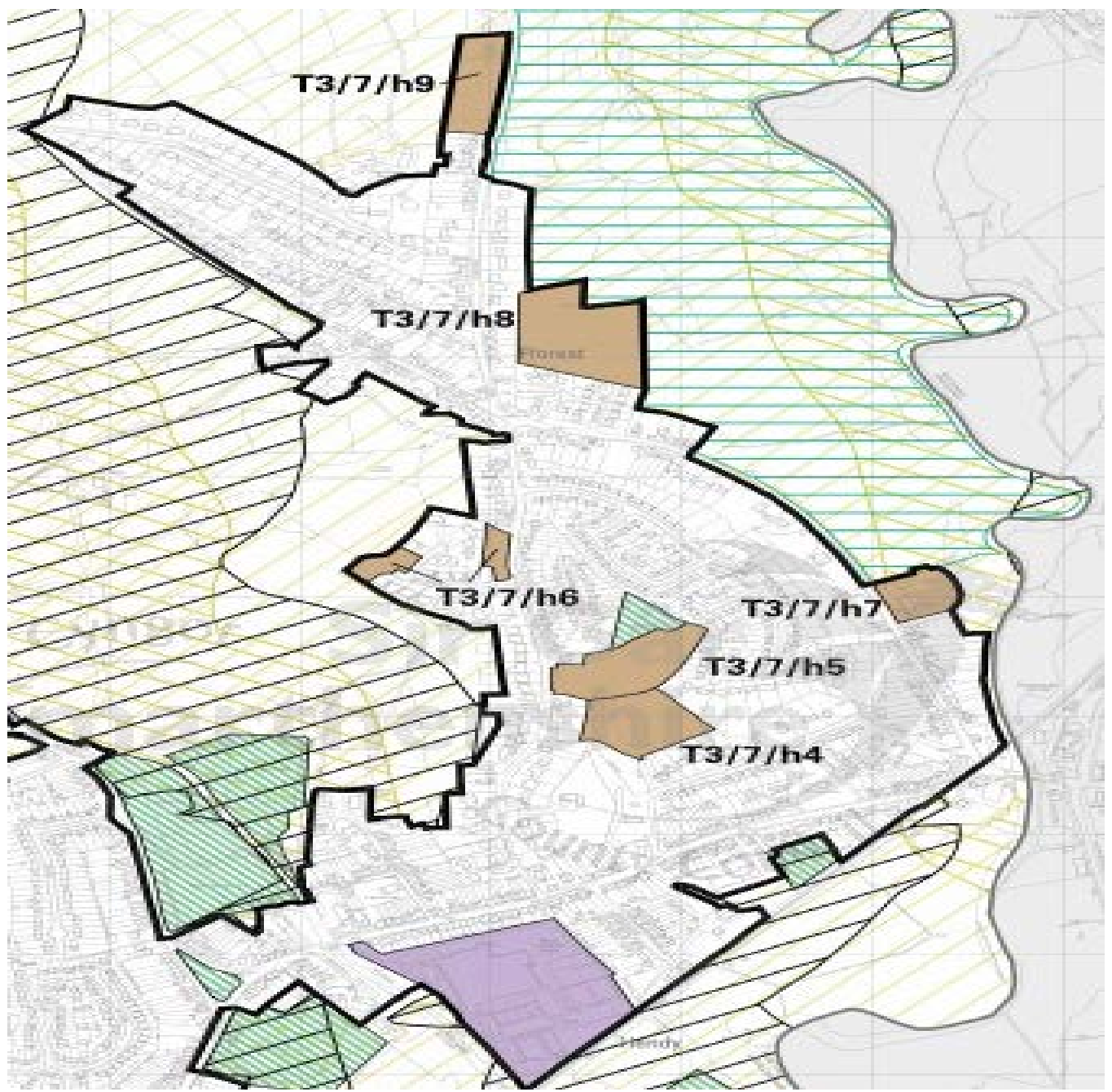
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Tudalen 49

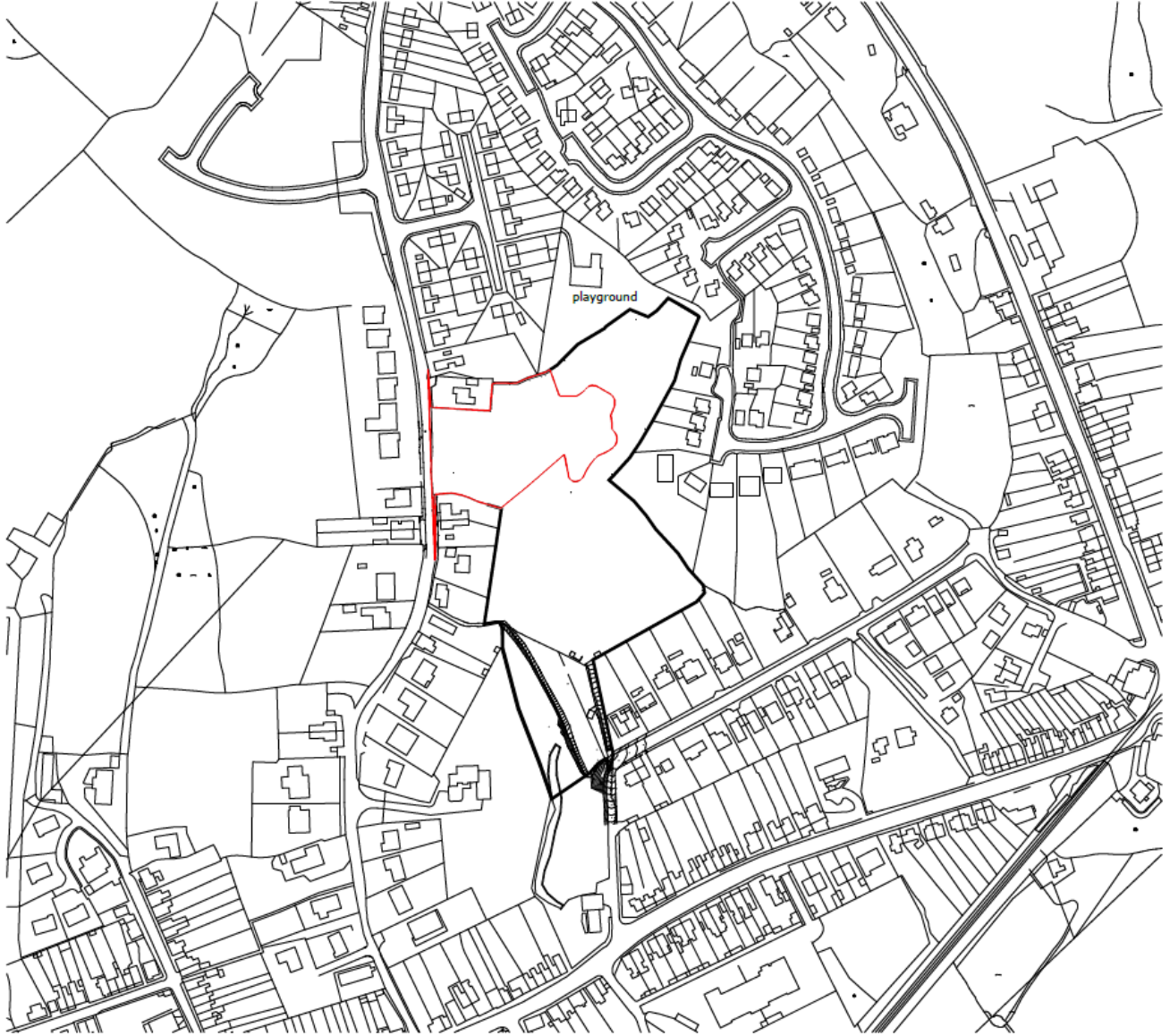
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Tudalen 50



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N



Tudalen 51

S/34537

Tudalen 52



General Notes

Key

- Bronallt house type
- Felindre house type
- Fforest house type
- Pendine house type
- Hendy house type
- Separated garage

DESCRIPTION
Block plan Phase 1

SCALE
1:400 @A3

REVISION
03

PROJECT
Bronallt Road Phase 1

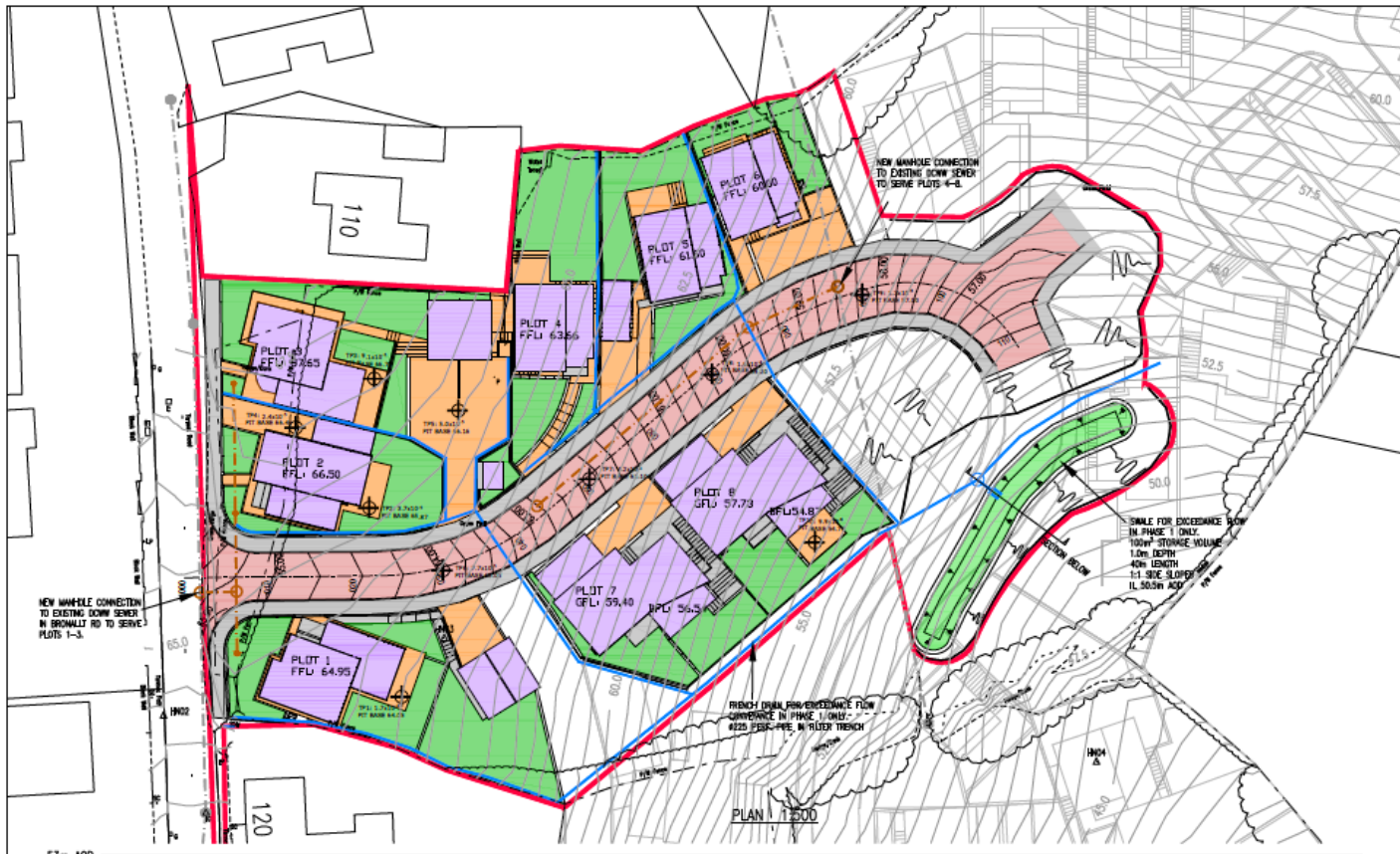
ISSUE
08.06.2016

RE-ISSUE
03.06.2017

DRAWN BY
Sas Davies

pas
02

S/34537



- POROUS DRIVE/PATIO/FOOTPATH
- POROUS ROAD
- NON-POROUS FOOTWAY
- LAWN/SOFT LANDSCAPE (SELF-DRAINING)
- ROOF AREA (NON-POROUS)
- LAND DRAINAGE FOR EXCESSANCE FLOW
- PHASE 1 BOUNDARY

Rev	Detail	By	Date

Reinforcement scheduler not.



Structural & Civil Engineering Consultants

First Floor
7 St James Crescent
Swansea
SA1 6DT

Telephone +44 1792 473 182
e-mail admin@cb3consulting.co.uk
web www.cb3consulting.co.uk

Client: **BLUETREE SYSTEMS LTD**

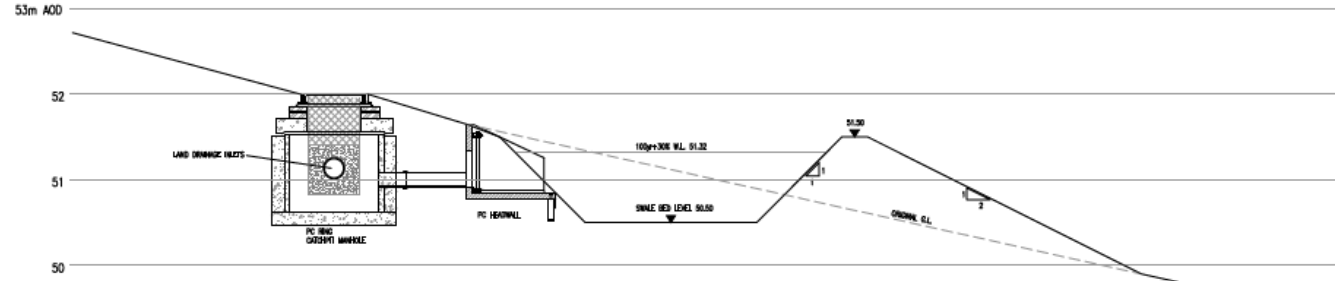
Project: **PROPOSED HOUSING DEVELOPMENT @ BRONALLT ROAD, HENDY**

Drawing Title: **PHASE 1 DRAINAGE STRATEGY PLAN**

PLANNING

Project No. C0675	Drawing No. C-103
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Drawn: [Signature]	Checked: [Signature]
Drawn Date: 24.08.19	Checked Date: 24.08.19

Tudalen 53

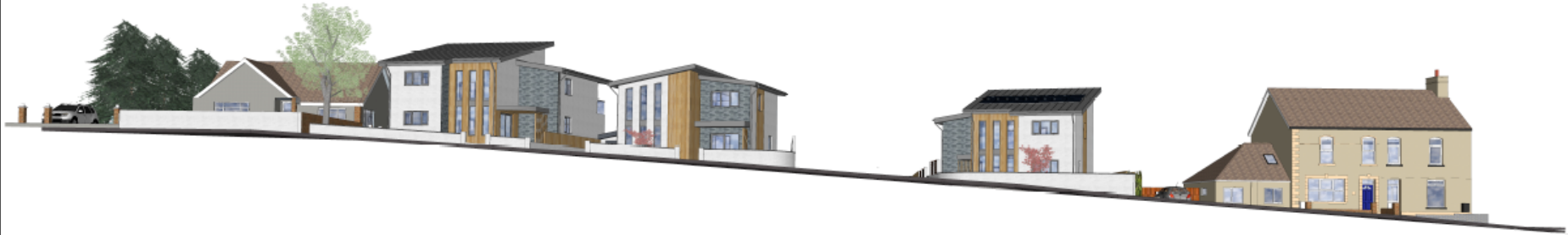


PHASE 1 LAND DRAINAGE / SWALE ARRANGEMENT 1:50

S/34537

Judalen 54

Bronallt Road Street Scene



Bronallt Road Street Scene



S/34537

Bronallt Road development overview



Tudalen 55

Greenway Homes Developments Ltd
Cambrian Complex,
Ystrad Road,
Fforestfach,
Swansea,
SA5 4HJ

Job Title:
Proposed new housing development
land East of Bronallt Road,
Hendy,
Carmarthenshire,
SA4 0UD

Drawing Title:
Street Scenes
Drawing No. SS2 Rev. 1.0

S/34537

Tudalen 56

Plot 4, 5 & 6 Street Scene



Greenway Homes Developments Ltd
Cambrian Complex,
Ystrad Road,
Fforestfach,
Swansea.
SA5 4HJ

Job Title:
Proposed new housing development
land East of Bronallt Road,
Hendy,
Carmarthenshire,
SA4 0UD

Drawing Title:
Street Scenes

Drawing No. SS4 Rev. 1.0

S/34537



Site Overview



Site Overview



S/34537

Fudalen 58



S/34537



Tudalen 59

S/34537

Fudalen 60



S/34537



Tudalen 61

S/34537

Fudalen 62



S/34537



Tudalen 63

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S/34537



Tudalen 65

S/34537

Tuddalen 66

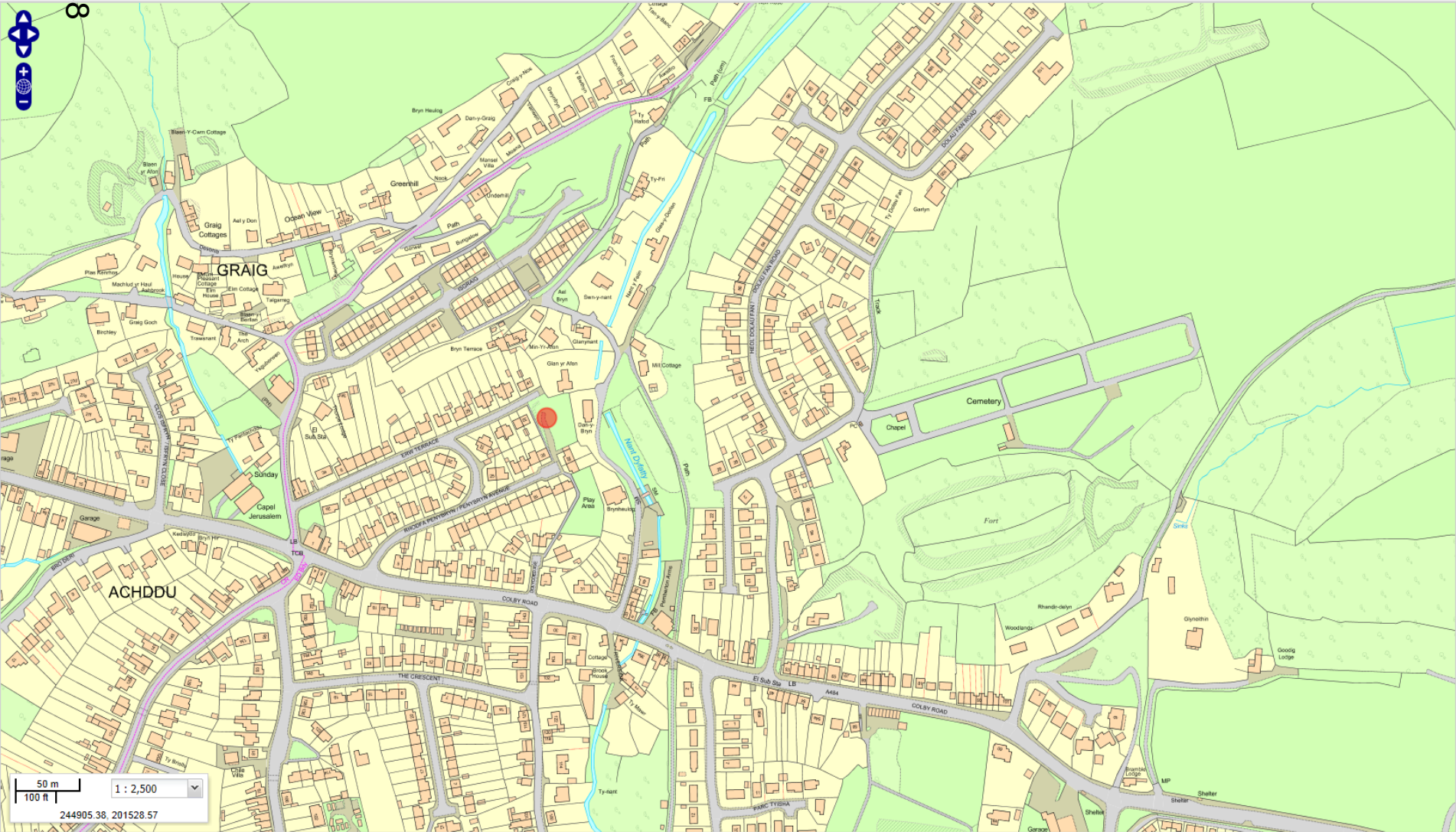


S/35403

Tudalen 67

S/35403

Tudalen 68



S/35403



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100 ft

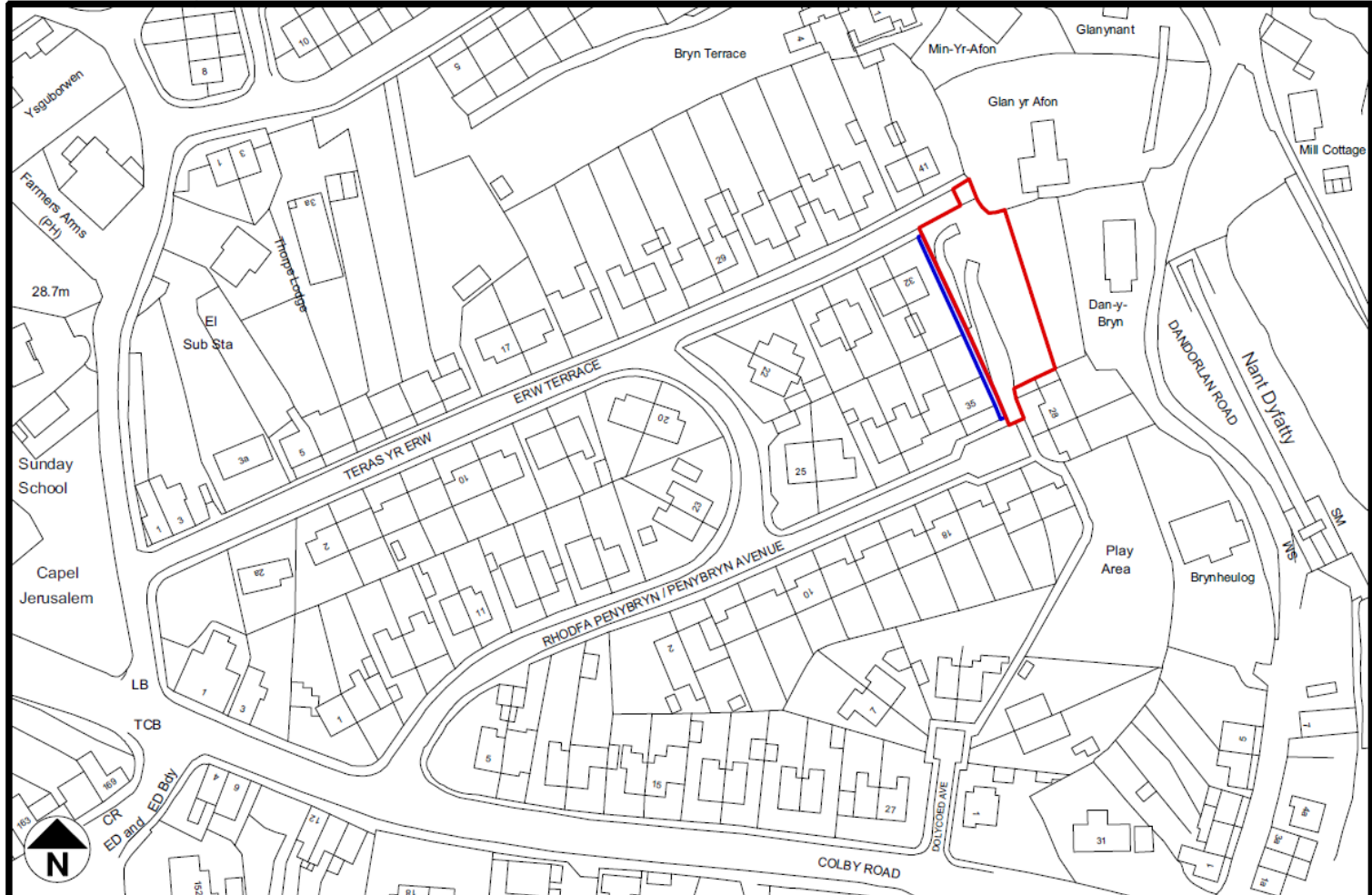
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Tudalen 69

S/35403

Tudalen 70



Title: OUTLINE PLANNING APPLICATION FOR RESIDENTIAL DEVELOPMENT, ADJACENT TO No 32. ERW TERRACE AND No 35. PENYBRYN AVENUE, BURY PORT.

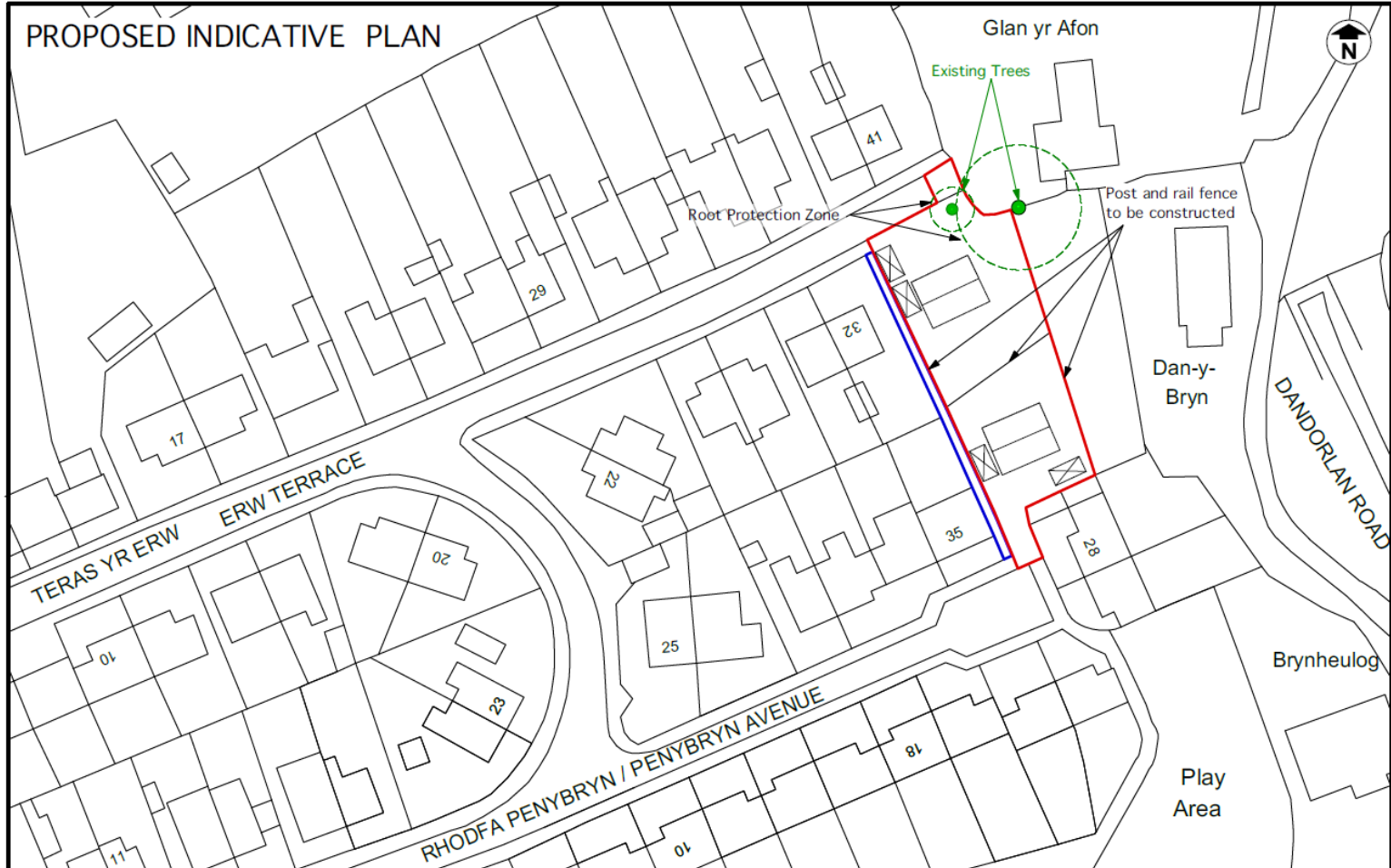
Client: CARMARTHENSHIRE COUNTY COUNCIL

Scale: 1:1250 Location Plan @ Paper A4

Drawing No. : SC/CCC/PENYBRYNAVENUE/1

Date: 26/09/16

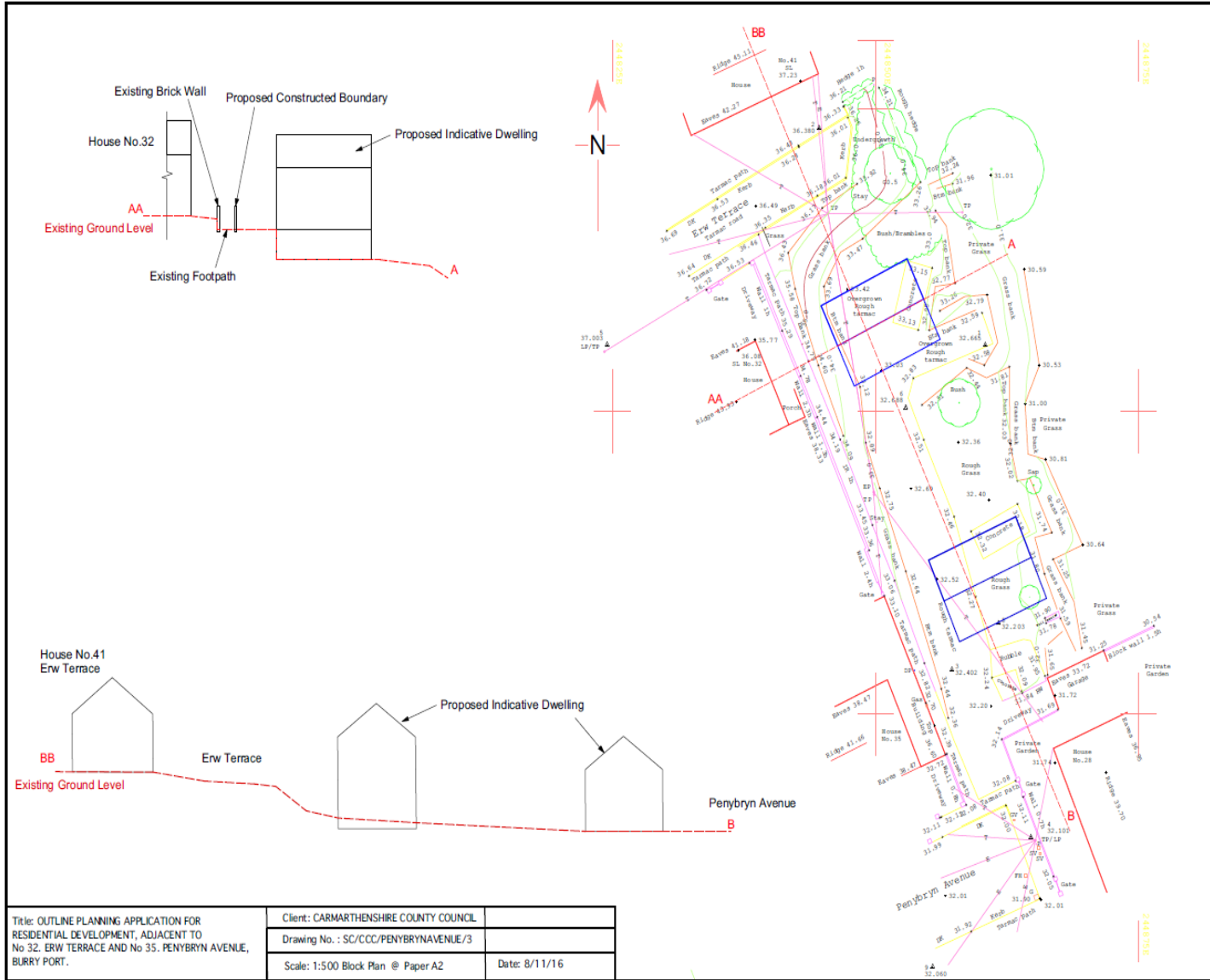
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Title: OUTLINE PLANNING APPLICATION FOR RESIDENTIAL DEVELOPMENT, ADJACENT TO No 32. ERW TERRACE AND No 35. PENYBRYN AVENUE, BURRY PORT.	Client: CARMARTHENSHIRE COUNTY COUNCIL	Scale: 1:500 Block Plan @ Paper A3	Drawing No. : SC/CCC/PENYBRYNAVENUE/2
			Date: 26/09/16

S/35403

Rudalen 72



Title: OUTLINE PLANNING APPLICATION FOR RESIDENTIAL DEVELOPMENT, ADJACENT TO No 32, ERW TERRACE AND No 35, PENYBRYN AVENUE, BURY PORT.	Client: CARMARTHENSHIRE COUNTY COUNCIL	
	Drawing No. : SC/CCC/PENYBRYNAVENUE/3	
	Scale: 1:500 Block Plan @ Paper A2	Date: 8/11/16

S/35403



Tudalen 73

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Tudalen 74



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Tudalen 75

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Tudalen 77

S/35403

Tudalen 78



S/35440

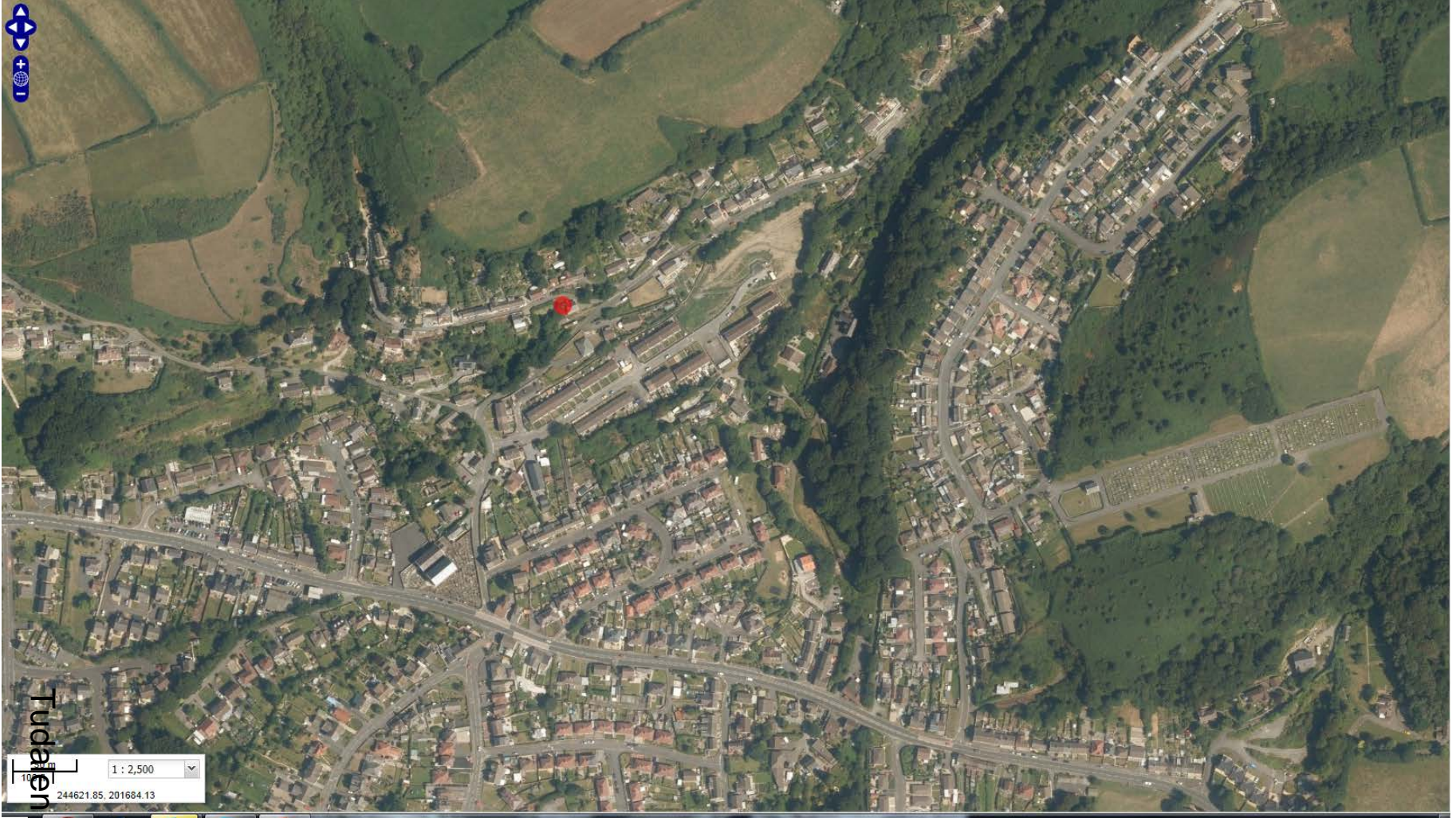
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S/35440

Tudalen 80



S/35440

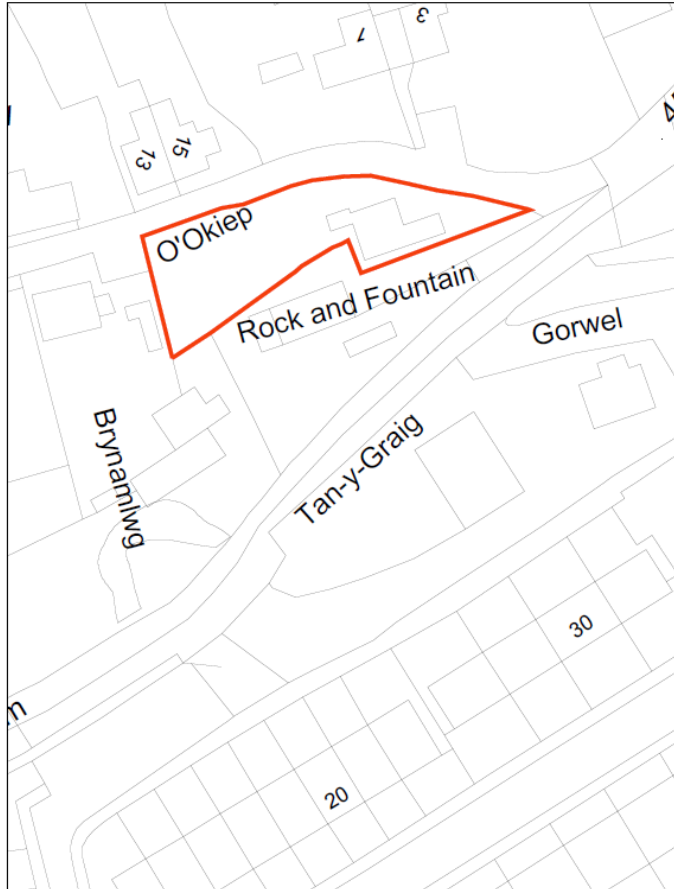


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S/35440

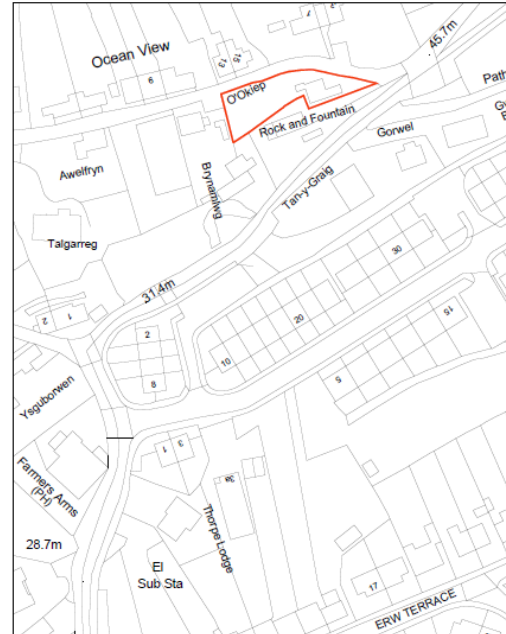
Tudalen 82

PROPOSED SITE PLANS



Site Block Plan 1:500

O'OKIEP, Y GRAIG, BURRY PORT



Site Location Plan 1:1250

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 www.prim-arch.co.uk
 0199 418 142 18 01 0117



Client:
Mr & Mrs Jenkins

Project Title:
Residential Development - Demolish Existing Bungalow & Construct 3 Bed Dwellings

Drawing Title:
Proposed Block Plan & Site Location Plan

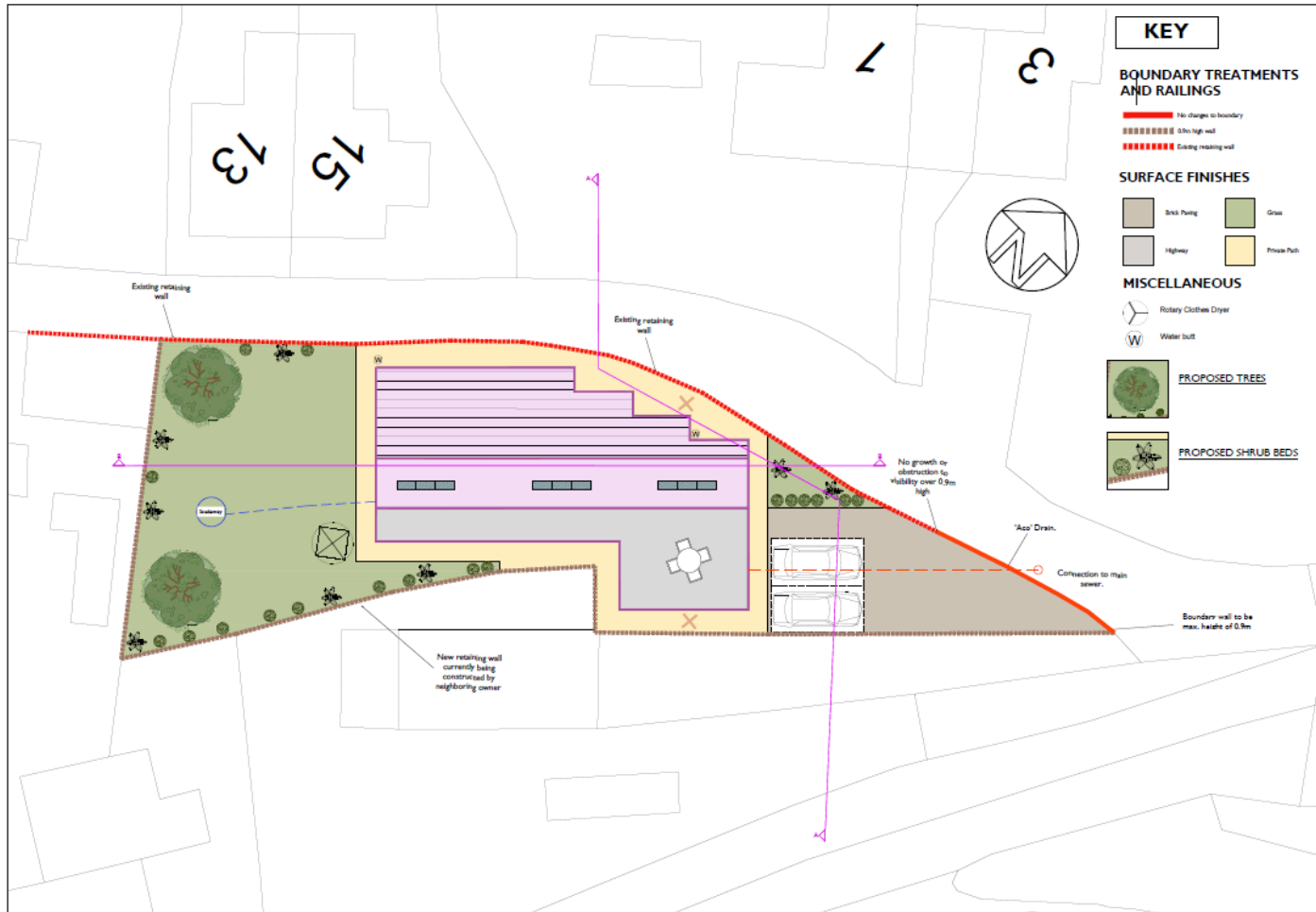
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1:500 & 1:1250 @ A3 Date:
February 2017

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576	06	-

S/35440

PROPOSED SITE PLANS

O'OKIEP, Y GRAIG, BURRY PORT



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Client:
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Project Title:
Residential Development - Demolish Existing Bungalow & Construct 3 Bed Dwellings

Drawing Title:
Proposed Site Plan

Scale:
1:200 @ A3

Date:
February 2017

Job No: 576

Drawing No: 04

Rev: -

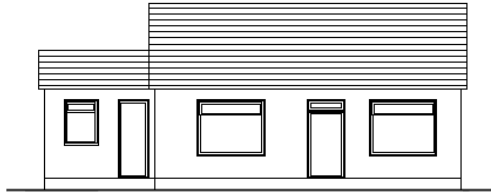
Tudalen 83

Site Plan 1:200

S/35440

Judalën 84

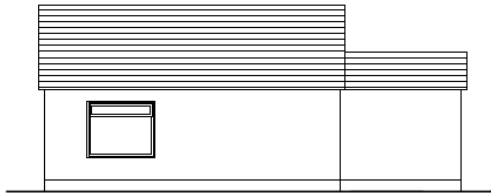
EXISTING PROPOSED FLOOR PLANS & ELEVATIONS



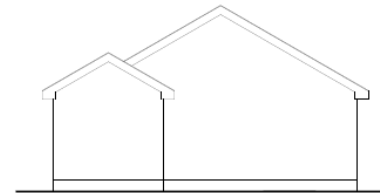
Front Elevation 1:50



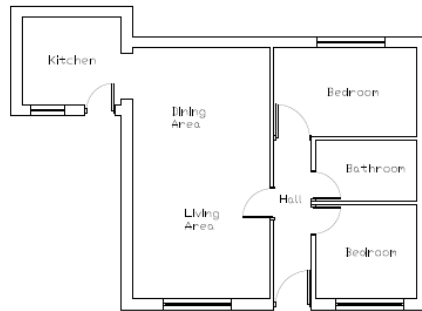
Side Elevation 1:50



Rear Elevation 1:50



Side Elevation 1:50



Ground Floor Plan 1:50

O'OKIEP, Y GRAIG, BURRY PORT

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Client:
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Project Title:
 Residential Development -
 Demolish Existing Bungalow &
 Construct 3 Bed Dwellings

Drawing Title:
 Existing Floor Plans & Elevations

Scale:
 1:50 @ A1
 Date:
 January 2017

Job No.	Drawing No.	Rev.
576	01	-

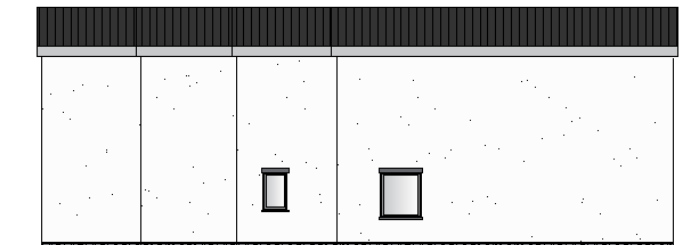
S/35440

Tudalen 85

PROPOSED FLOOR PLANS



Side Elevation 1:100



Side Elevation 1:100

O'OKIEP, Y GRAIG, BURRY PORT



Front Elevation 1:100



Rear Elevation 1:100

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Client:
 Mr & Mrs Jenkins

Project Title:
 Residential Development -
 Demolish Existing Bungalow &
 Construct 3 Bed Dwellings

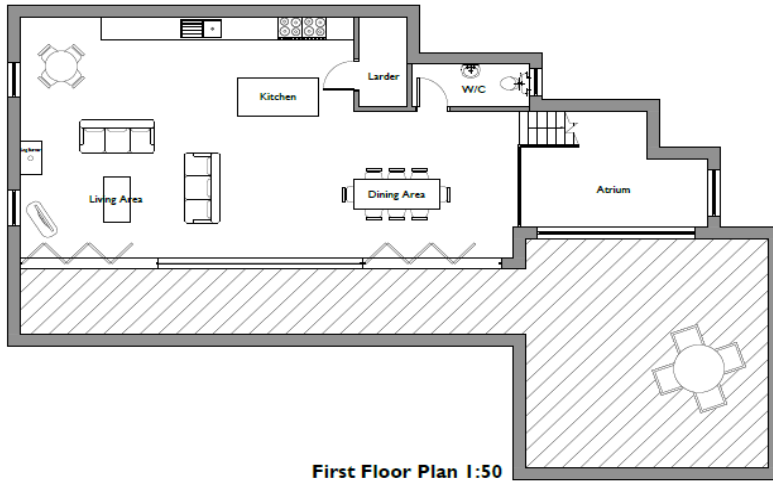
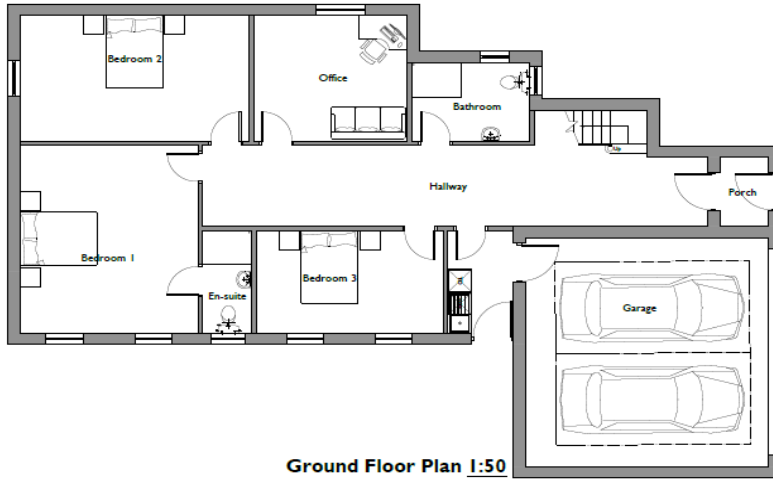
Drawing Title:
 Proposed Floor Plans & Elevations

Scale: 1:100 @ A1	Date: January 2017
Job No: 576	Drawing No: 03

S/35440

Tudalen 86

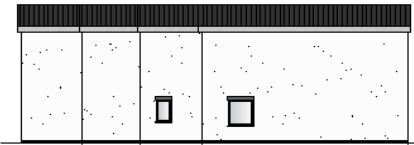
PROPOSED FLOOR PLANS



O'OKIEP, Y GRAIG, BURRY PORT



Side Elevation 1:100



Side Elevation 1:100



Front Elevation 1:100



Rear Elevation 1:100

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CIAT
 Registered Architect

Client:
 Mr & Mrs Jenkins

Project Title:
 Residential Development -
 Demolish Existing Bungalow &
 Construct 3 Bed Dwellings

Drawing Title:
 Proposed Floor Plans & Elevations

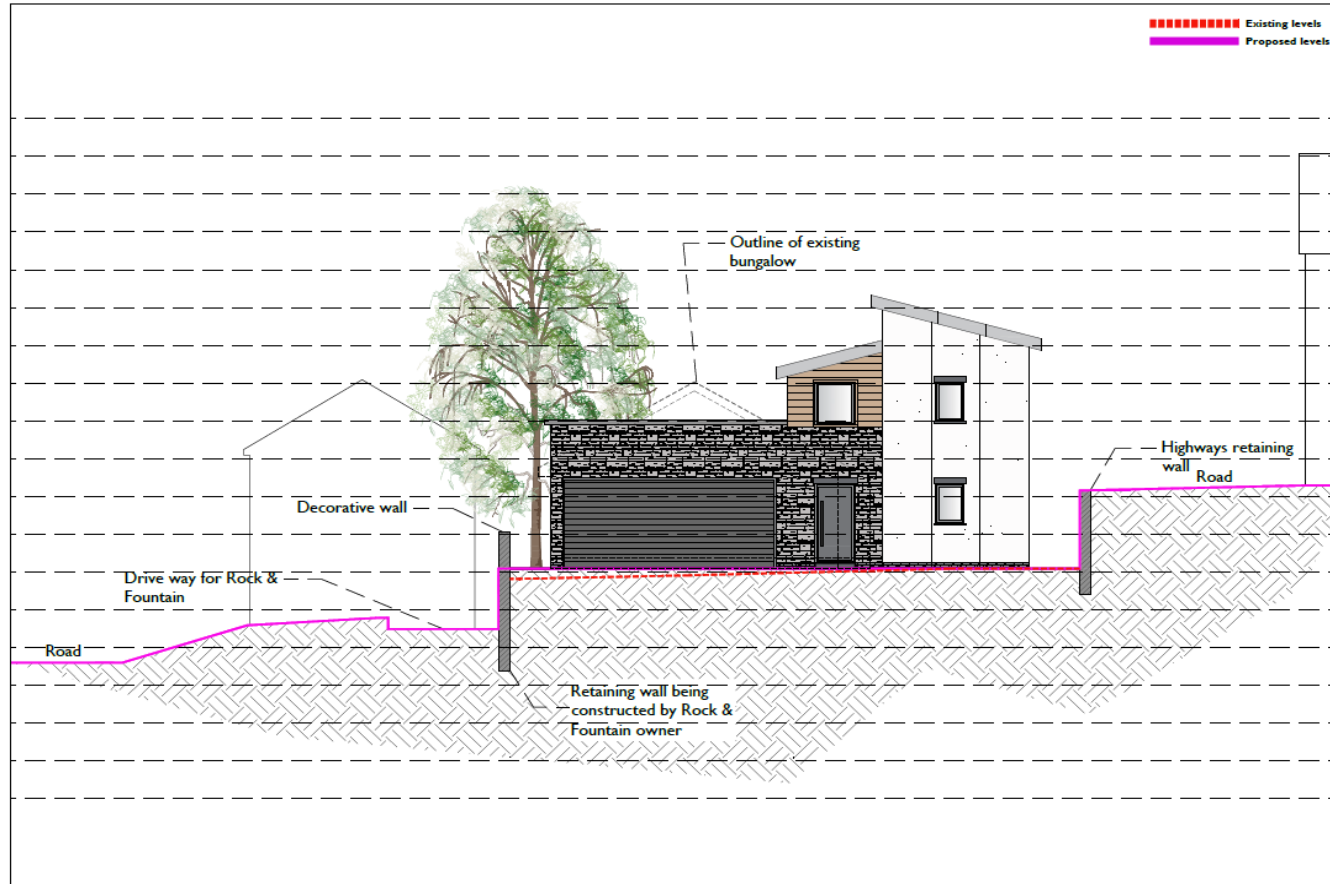
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Job No: 576	Drawing No: 02
Rev: -	

S/35440

Tudalen 87

PROPOSED SECTION A-A

O'OKIEP, Y GRAIG, BURRY PORT



Section A-A 1:100

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Drawing Status:

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www.prim-arch.co.uk



Client:

Mr & Mrs Jenkins

Project Title:

Residential Development - Demolish Existing Bungalow & Construct 3 Bed Dwellings

Drawing Title:

Proposed Section A-A

Scale:

1:100 @ A3

Date:

February 2017

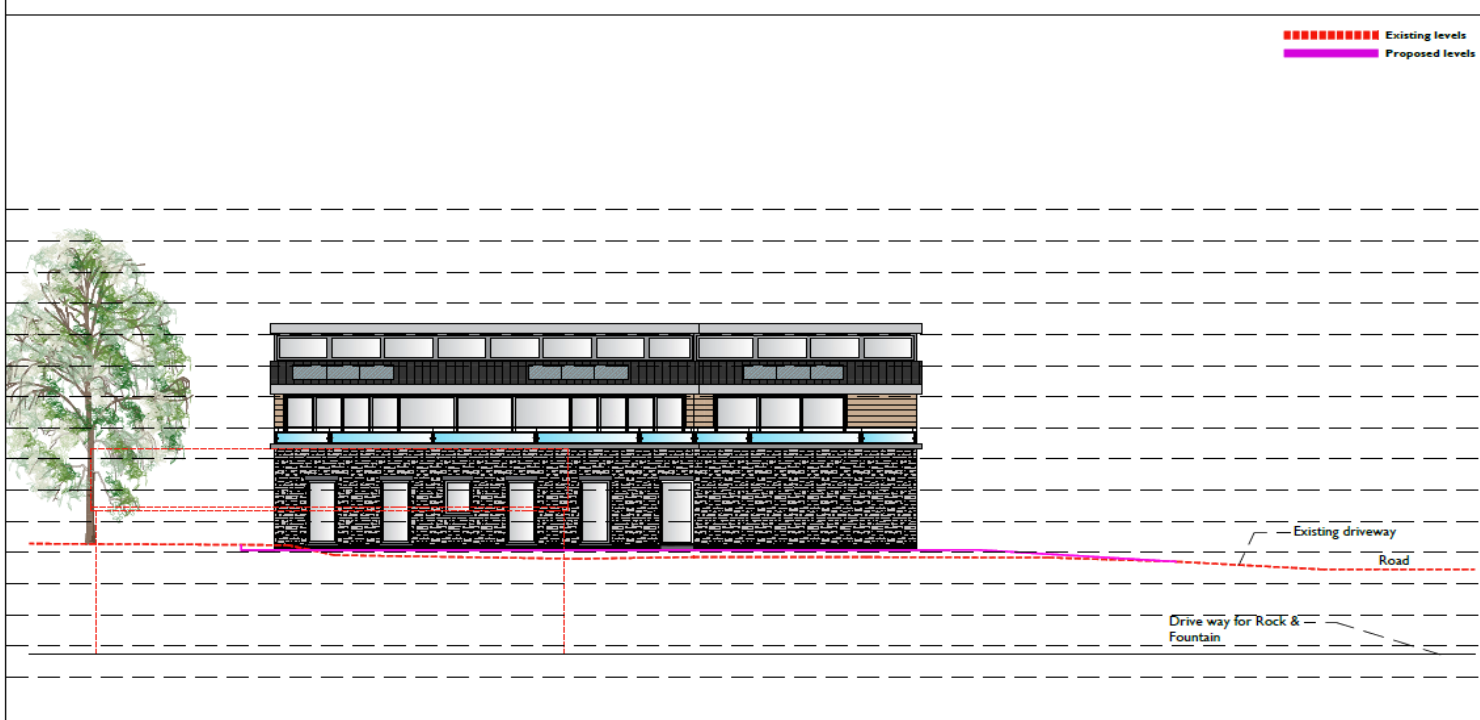
Job No:	Drawing No:	Rev:
576	05	-

S/35440

Tudalen 88

PROPOSED SECTION B-B

O'OKIEP, Y GRAIG, BURRY PORT



Existing levels
Proposed levels

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Revision	Description	Date

Drawing Status:
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Section B-B 1:125

Client:
Mr & Mrs Jenkins

Project Title:
Residential Development - Demolish Existing Bungalow & Construct 3 Bed Dwellings

Drawing Title:
Proposed Section B-B

Scale:
1:125 @ A3

Date:
February 2017

Job No.	Drawing No.	Rev.
576	08	-

S/35440

PROPOSED 3D VISUALIS



O'OKIEP, Y GRAIG, BURRY PORT

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Revision	Description	Date

Drawing Status:
PLANNING

PRIME
 ARCHITECTURE

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 info@prime-arch.co.uk
 www.prima-arch.co.uk
 100% RIBA Approved



Client:
 Mr & Mrs Jenkins

Project Title:
 Residential Development -
 Demolish Existing Bungalow &
 Construct 3 Bed Dwellings

Drawing Title:
 Proposed 3D Visuals

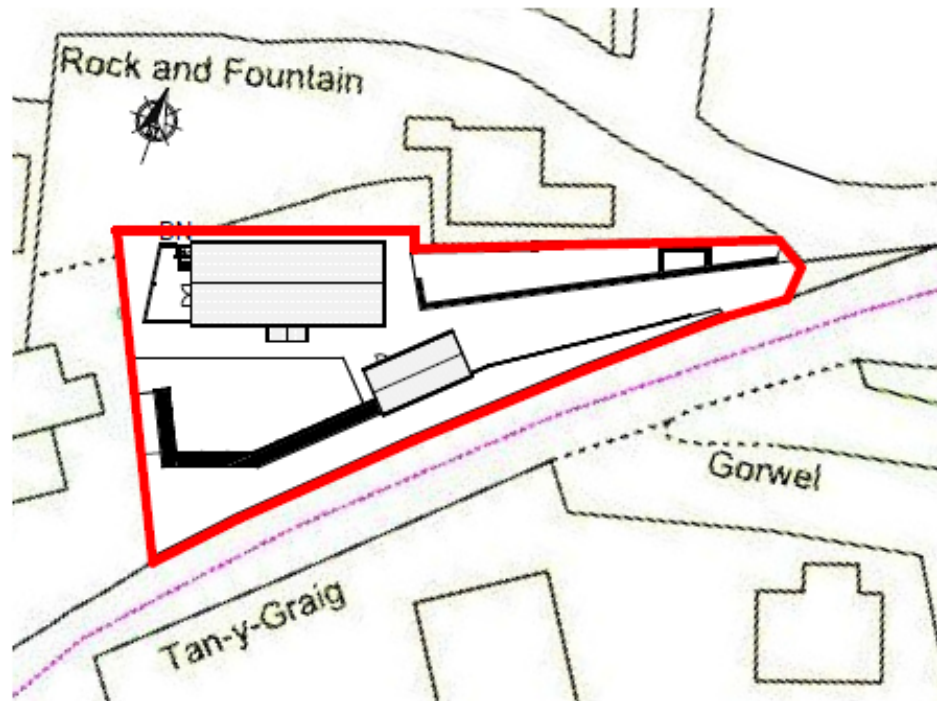
Scale	Date	
N.T.S @ A1	March 2017	
Job No	Drawing No	Rev
576	07	-

S/35440 - Aerial photo showing Rock and Fountain prior to demolition

Tucalen 90



S/35440 – Approved replacement dwelling at Rock and Fountain



BLOCK

1 : 500

S/35440 – Approved replacement dwelling at Rock and Fountain

SLATE ROOF (ARTIFICIAL OR NATURAL)
SCRAPED RENDER FINISH

1100MM HIGH POST AND RAIL
TIMBER FENCE

PROPOSED FRONT
1 : 200

PROPOSED REAR
1 : 200

PROPOSED SIDE (LEFT)
1 : 200

PROPOSED SIDE (RIGHT)
1 : 200

Rev A - landscape detail added
Rev B - post and rail added to
front of garage

PROPOSED ELEVATIONS		
Project number		
Date	Issue Date	A111 rev B
Drawn by	Author	
Checked by	Checker	Scale 1 : 200

S/35440



Tudalen 93

S/35440

Judalen 94



S/35440



Tudalen 95

S/35440

Tudalen 96



S/35440

Tudalen 97



S/35440

Tudalen 98



S/35440

Tudalen 99



\$/35440

Tugalen 100



S/35440



Tudalen 101

S/35440

Tuogalen 102



S/35440



Tudalen 103

S/35440

Tudalen 104





***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

27 GORFFENNAF 2017

27 JULY 2017

***RHANBARTH Y
GORLLEWIN***

**AREA
WEST**

***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

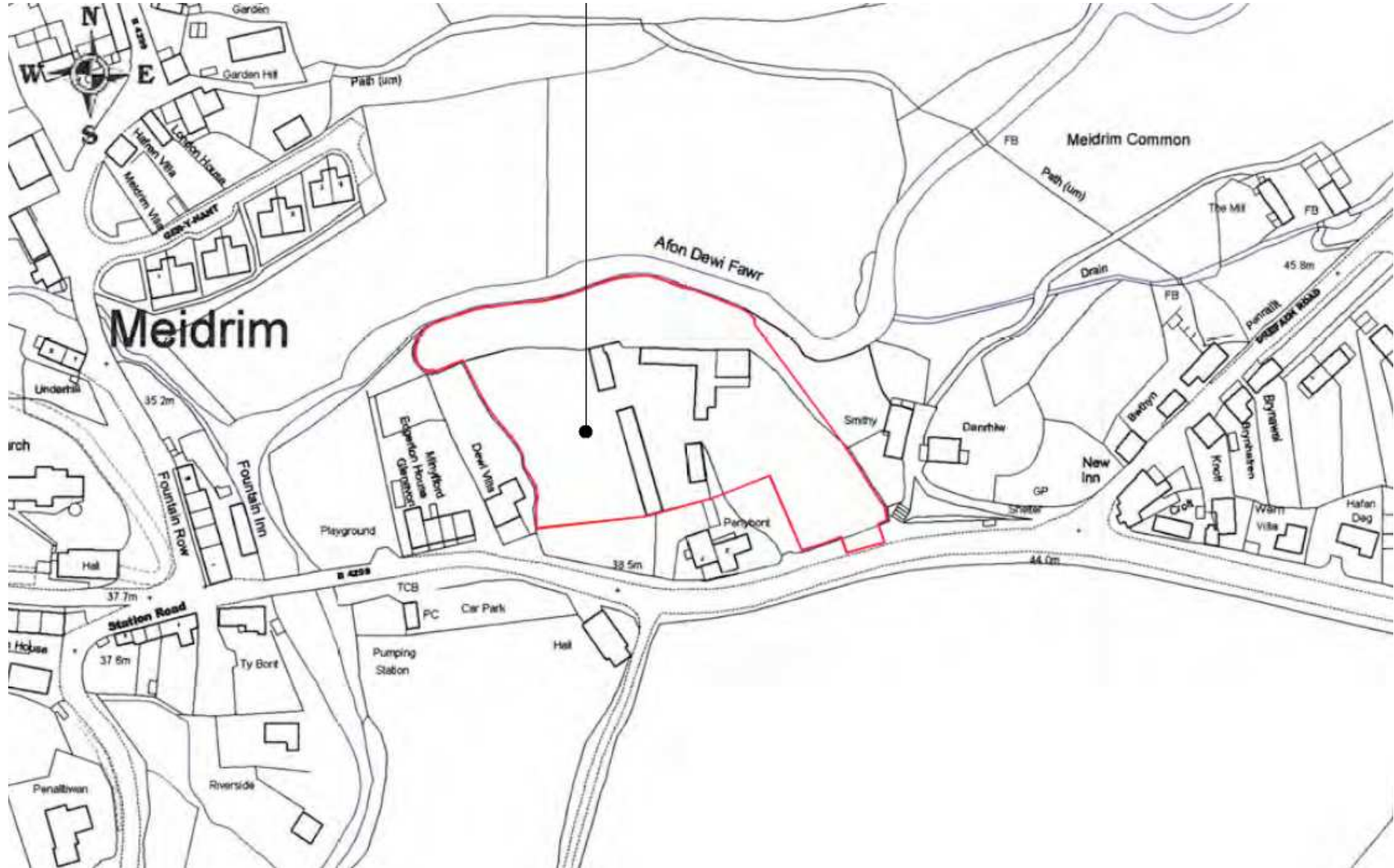
**APPLICATIONS RECOMMENDED
FOR APPROVAL**



W/35451

W/35451

Site Location



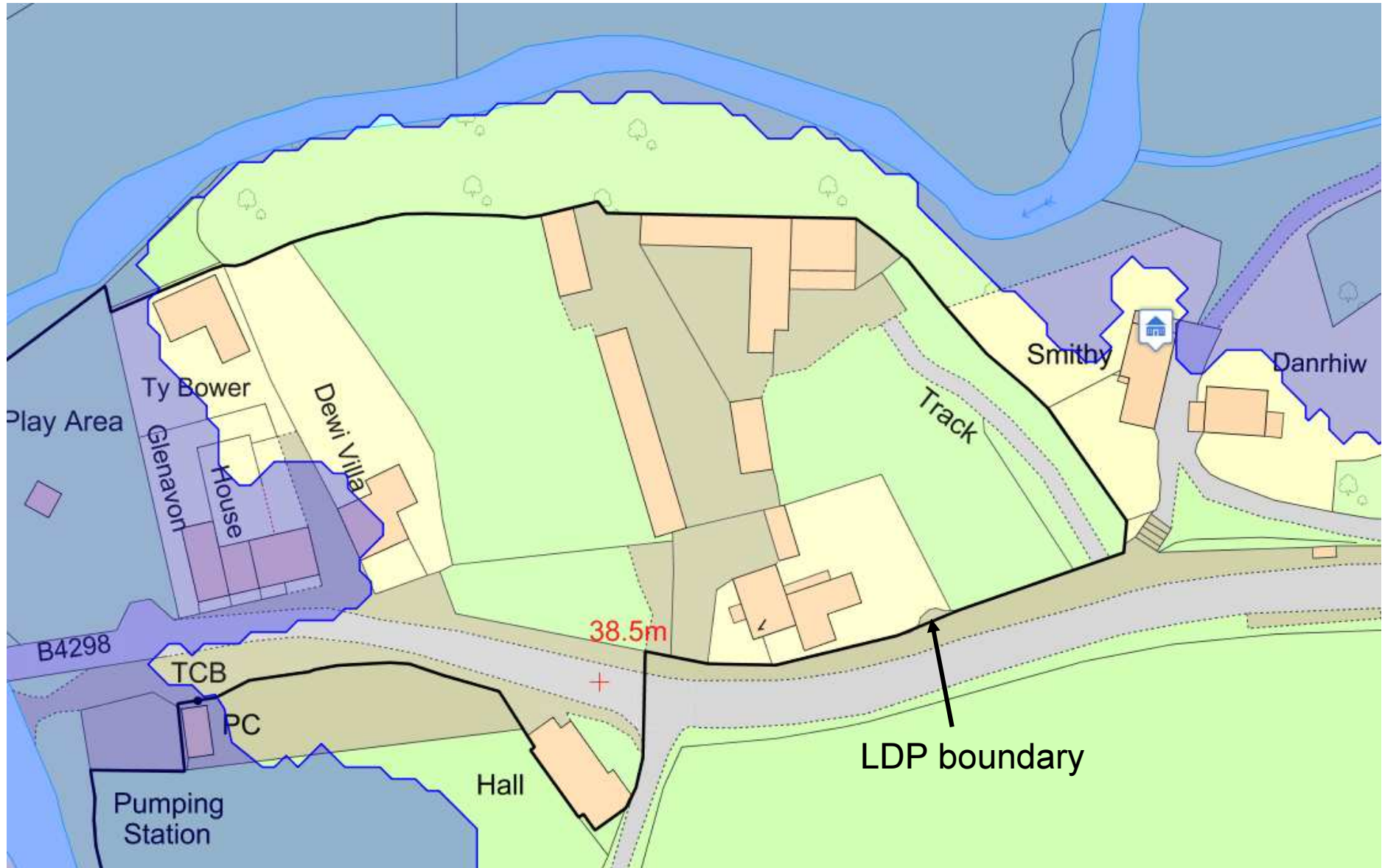
W/35451

Aerial Photo 2013/14



Tudalen 109

W/35451 Site constraints



W/35451 Site Access Road



Tudalen 111

3 5 2017

W/35451 Barn buildings



3.5.2017

W/35451 Barn 1



Tudalen 113

3.5.2017

W/35451 Barn 1



3.5.2017

W/35451 Barn 1



Tudalen 115

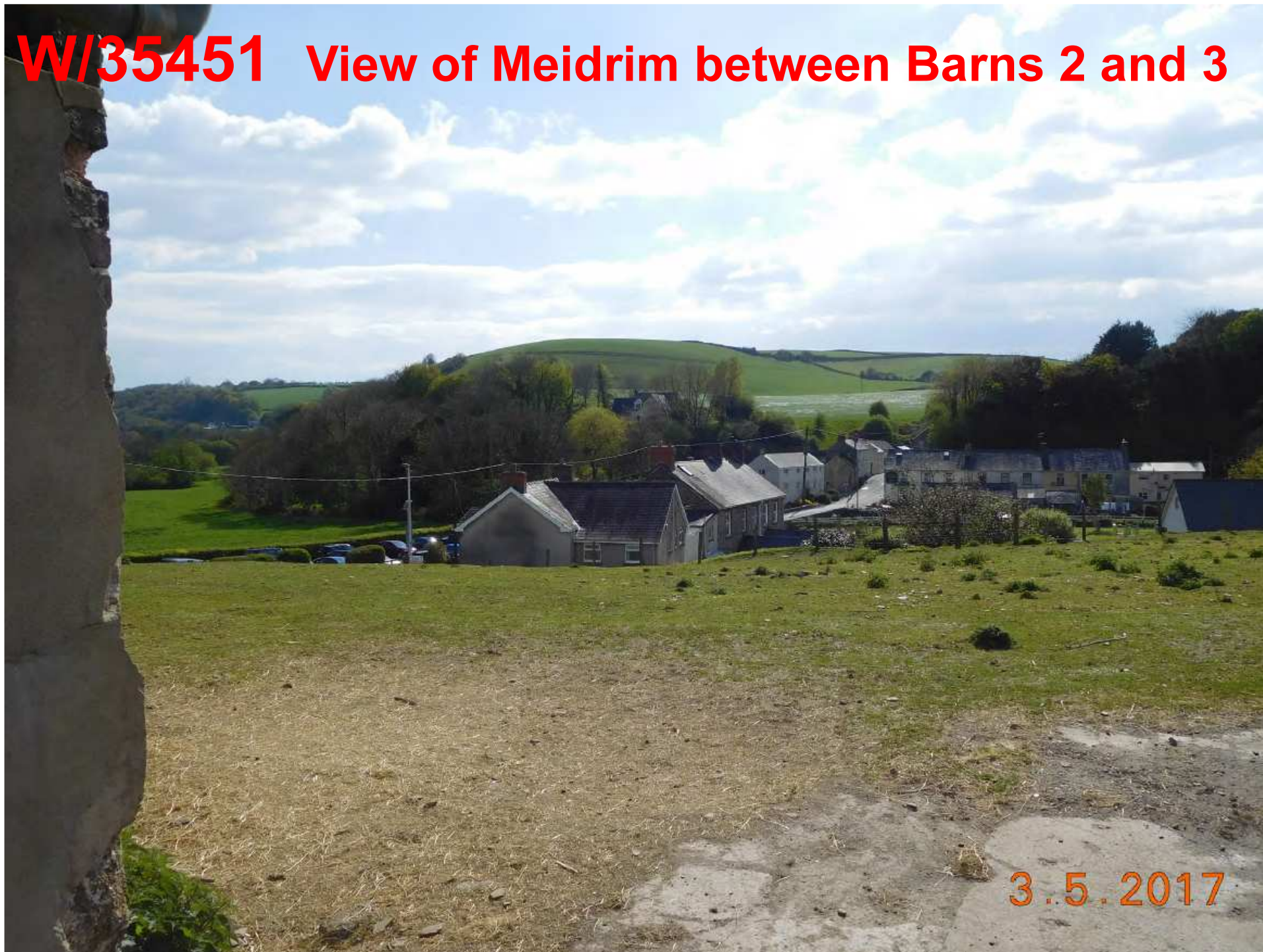
3.5.2017

W/35451 Barn 2



3. 5. 2017

W/35451 View of Meidrim between Barns 2 and 3



Tudalen 117

3.5.2017

W/35451 Barn 3



3.5.2017

W/35451 Barn 4



Tudalen 119

3.5.2017

W/35451 Barn 4 and former farmhouse



3.5.2017

W/35451 Access Road



Tudalen 121

3.5.2017

W/35451 Site access from B4298



3.5.2017

W/35451 Site boundary with Danrhiw



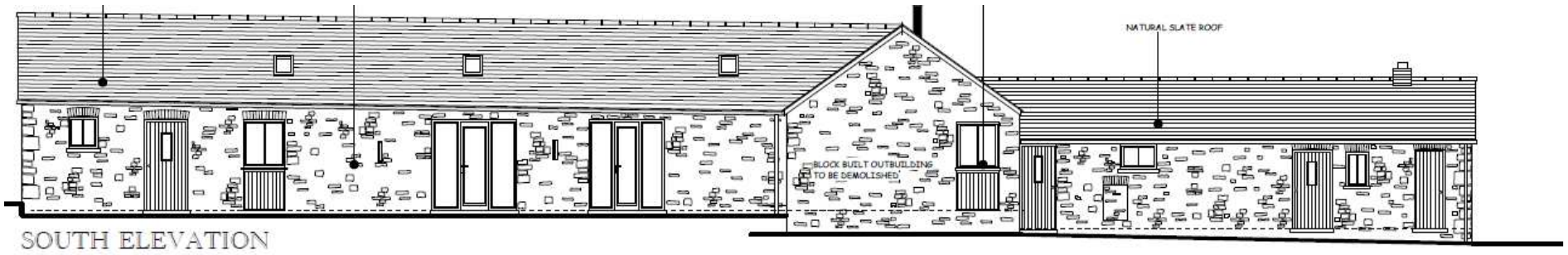
Tudalen 123

3.5.2017

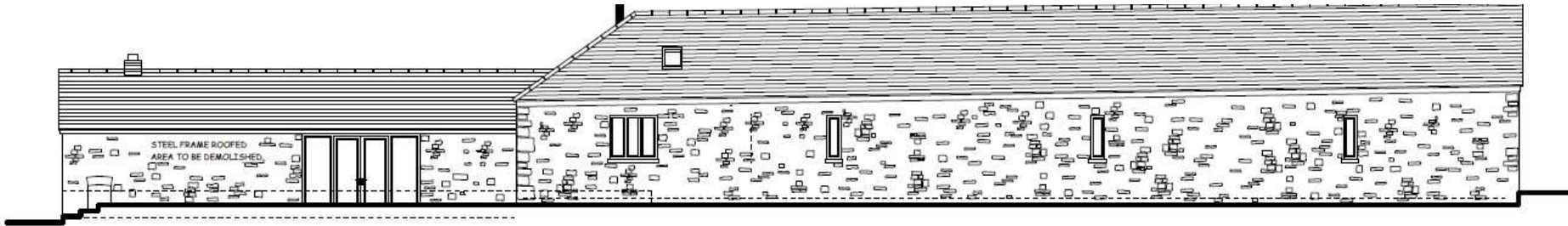
W/35451 Proposed Site Plan



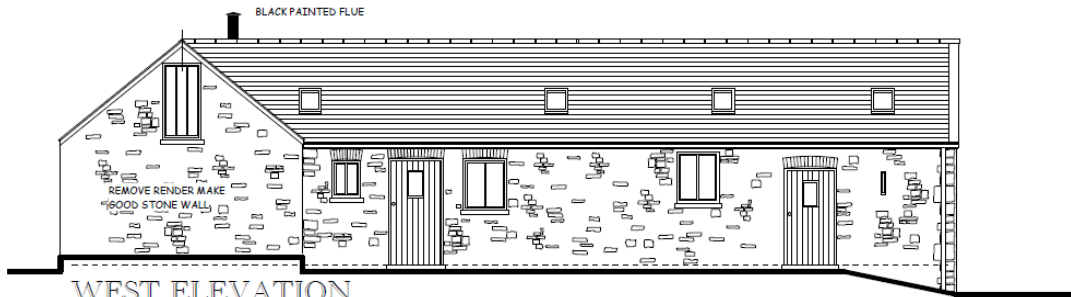
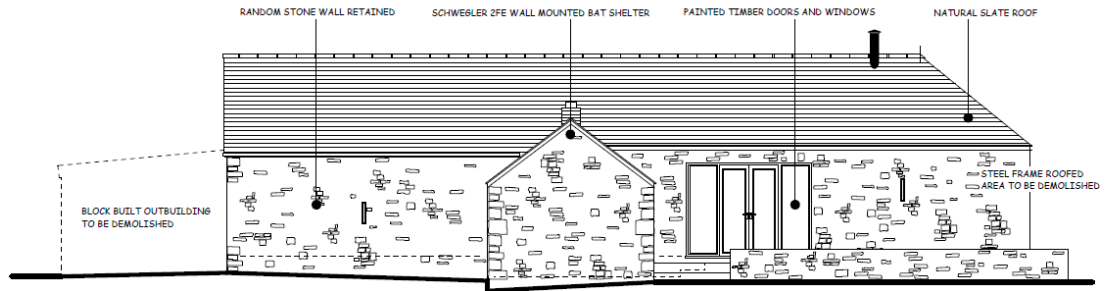
W/35451 Barn 1 Elevations



SOUTH ELEVATION

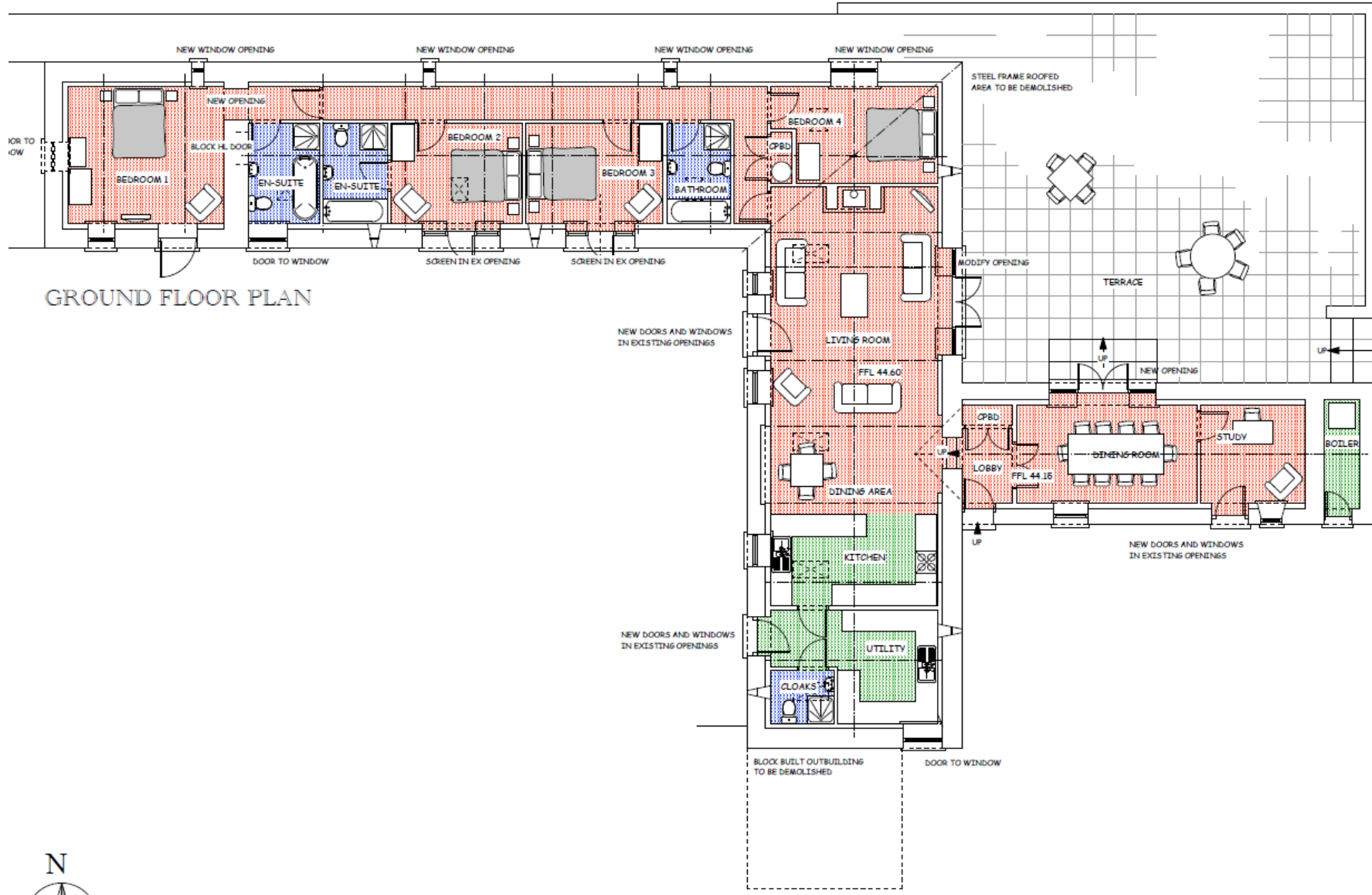


NORTH ELEVATION



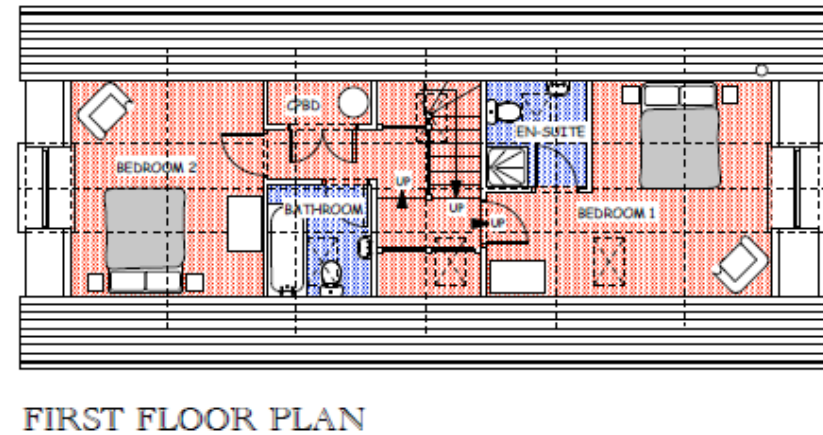
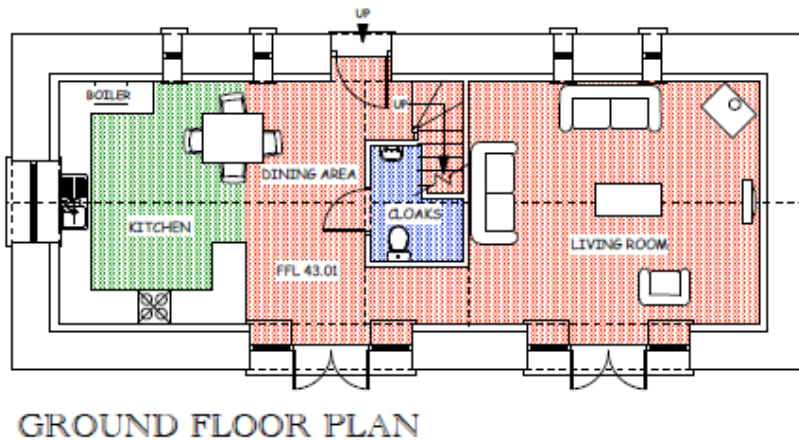
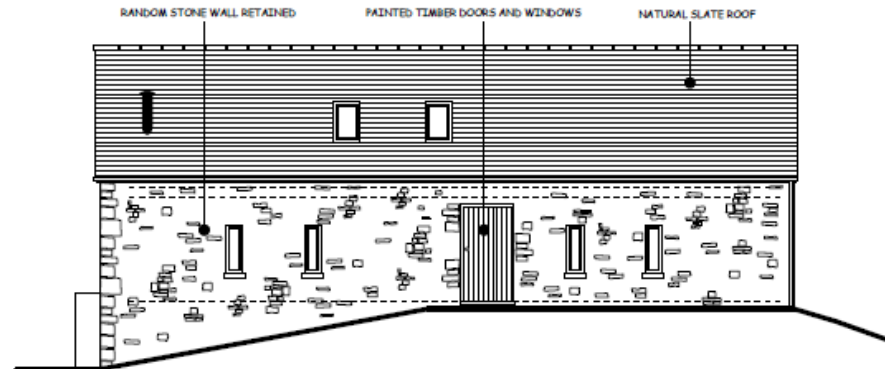
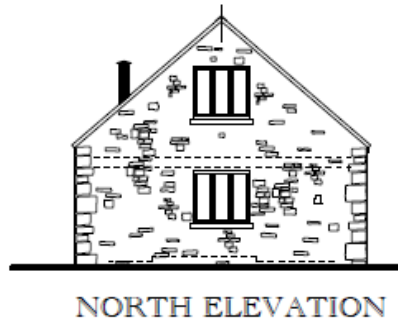
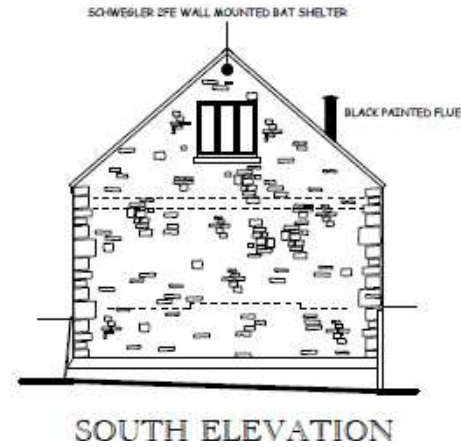
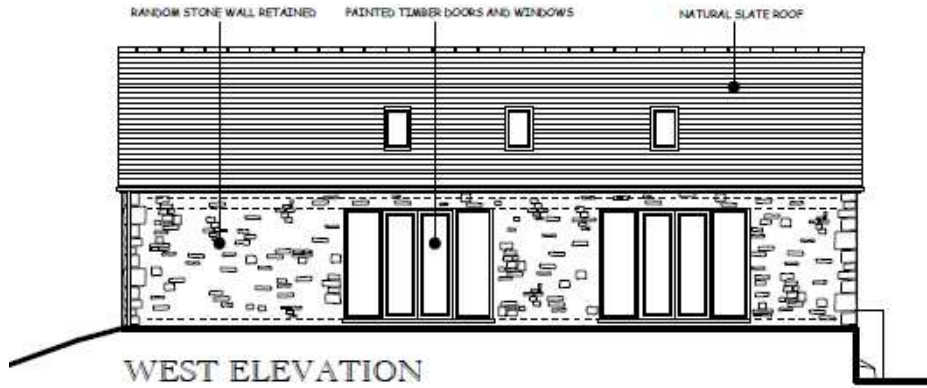
WEST ELEVATION

W/35451 Barn 1 Floor Plan

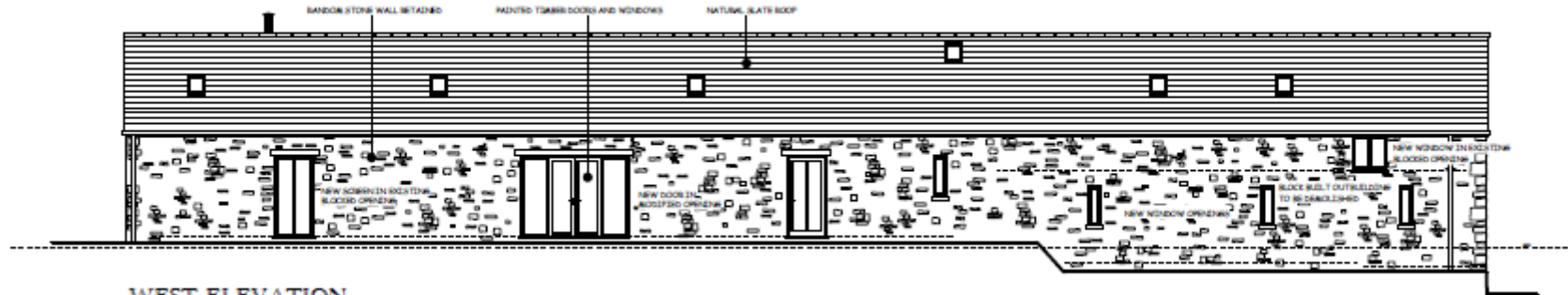


GROUND FLOOR PLAN

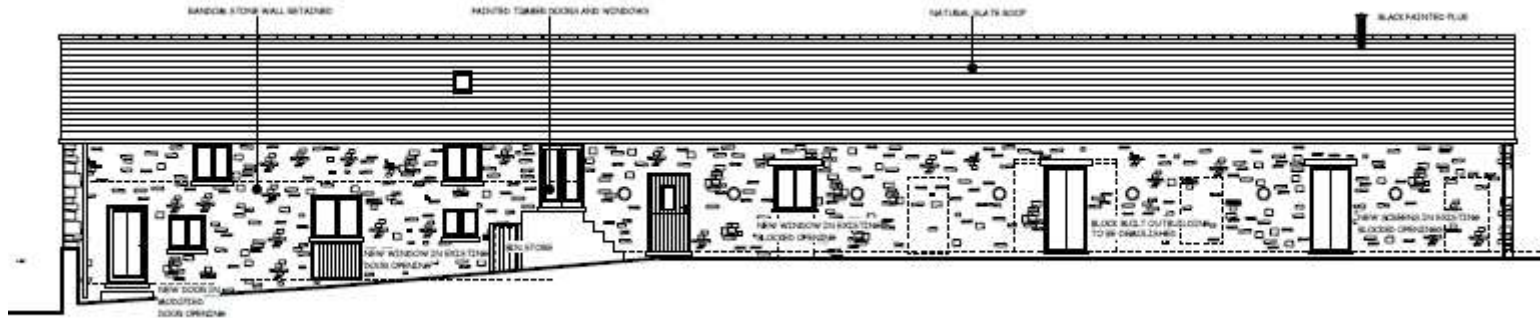
W/35451 Barn 2 Floor and Elevations



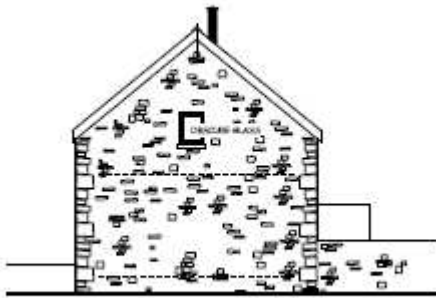
W/35451 Barn 3 Elevations



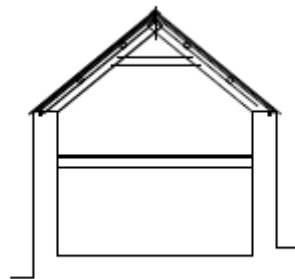
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

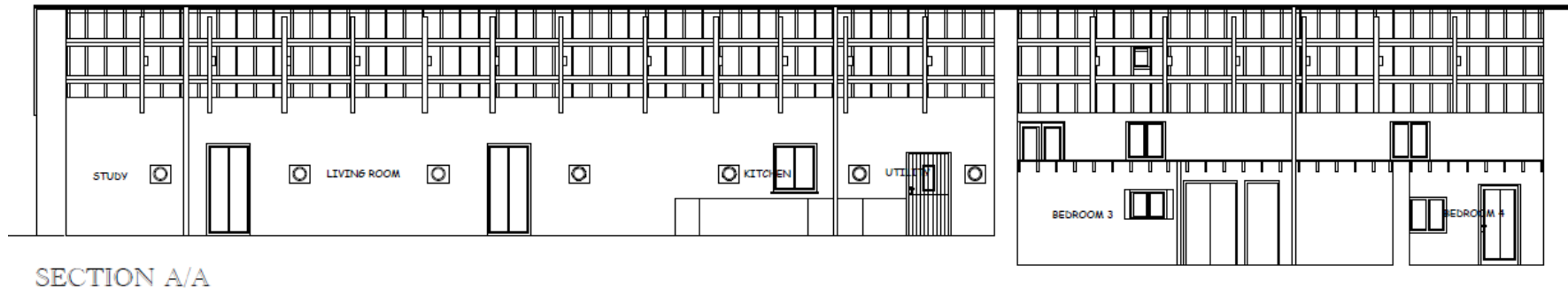
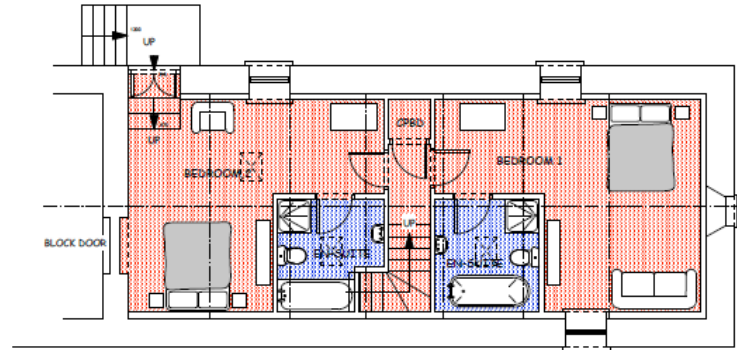
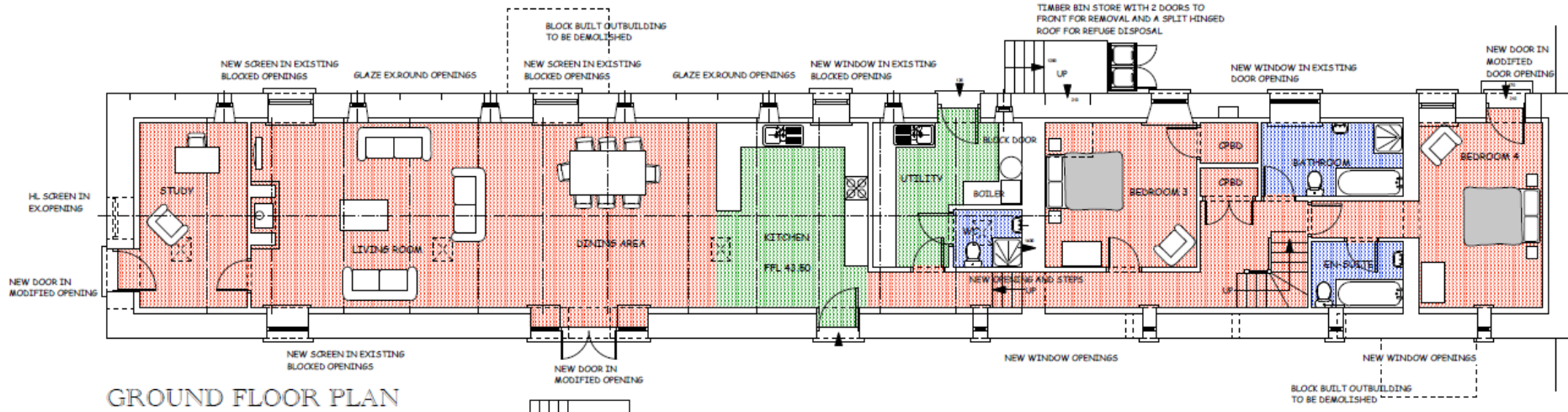


SECTION C/C

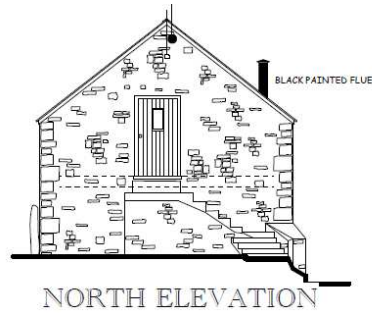


NORTH ELEVATION

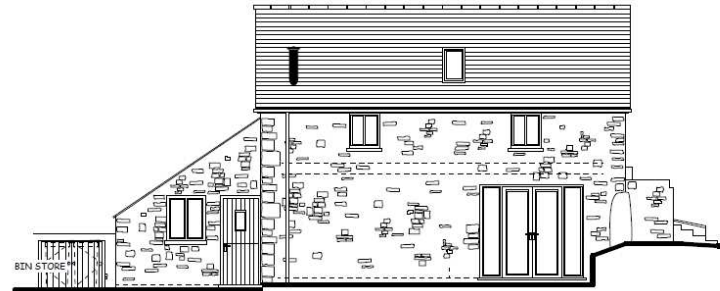
W/35451 Barn 3 Floor Plans



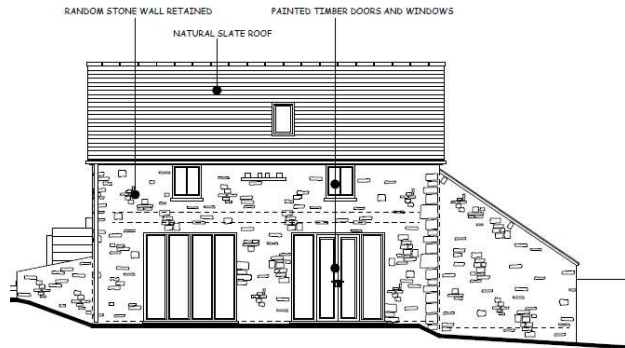
W/35451 Barn 4 Floor and Elevations



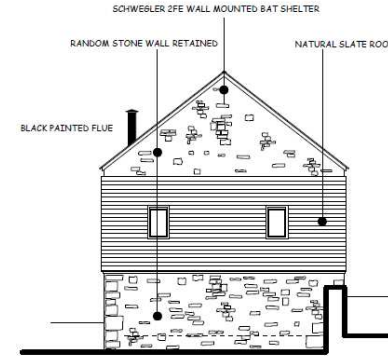
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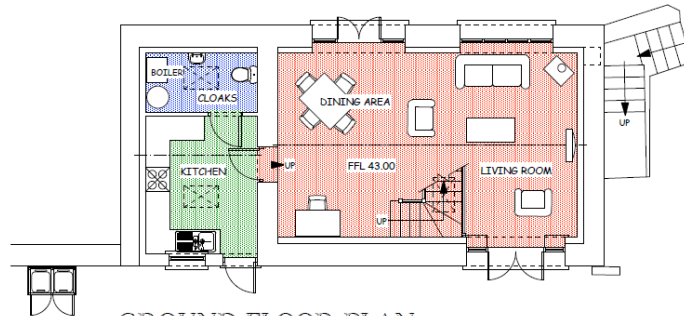
EAST ELEVATION



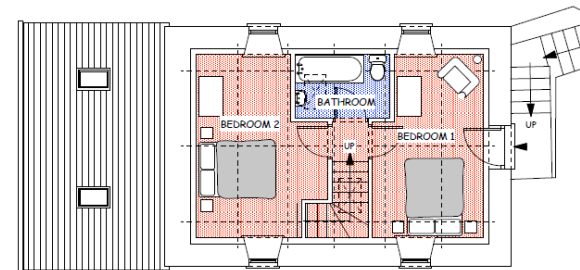
WEST ELEVATION



SOUTH ELEVATION

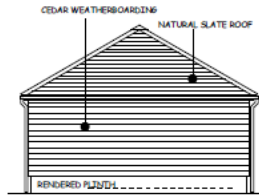


GROUND FLOOR PLAN

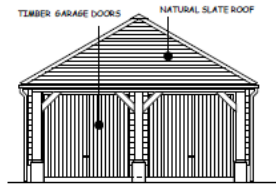


FIRST FLOOR PLAN

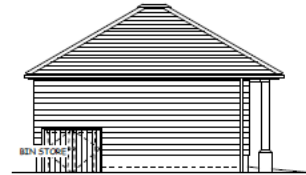
W/35451 Garages and Garden Stores



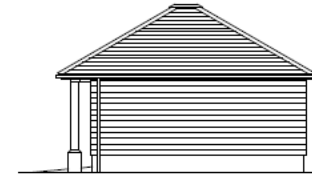
NORTH ELEVATION



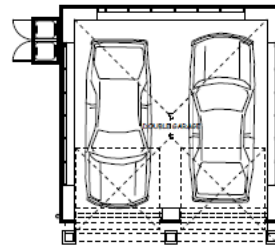
SOUTH ELEVATION



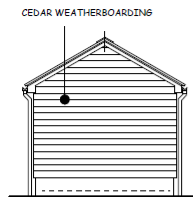
WEST ELEVATION



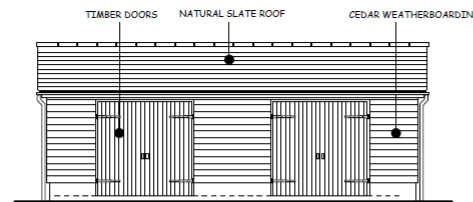
EAST ELEVATION



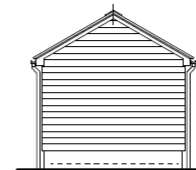
PLAN ON PROPOSED GARAGE



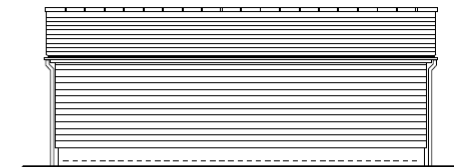
WEST ELEVATION



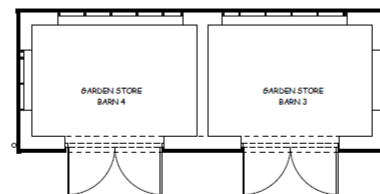
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



PLAN ON PROPOSED GARDEN STORES

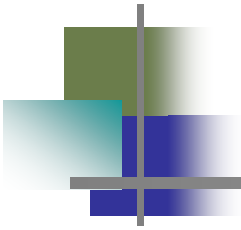


3.5.2017



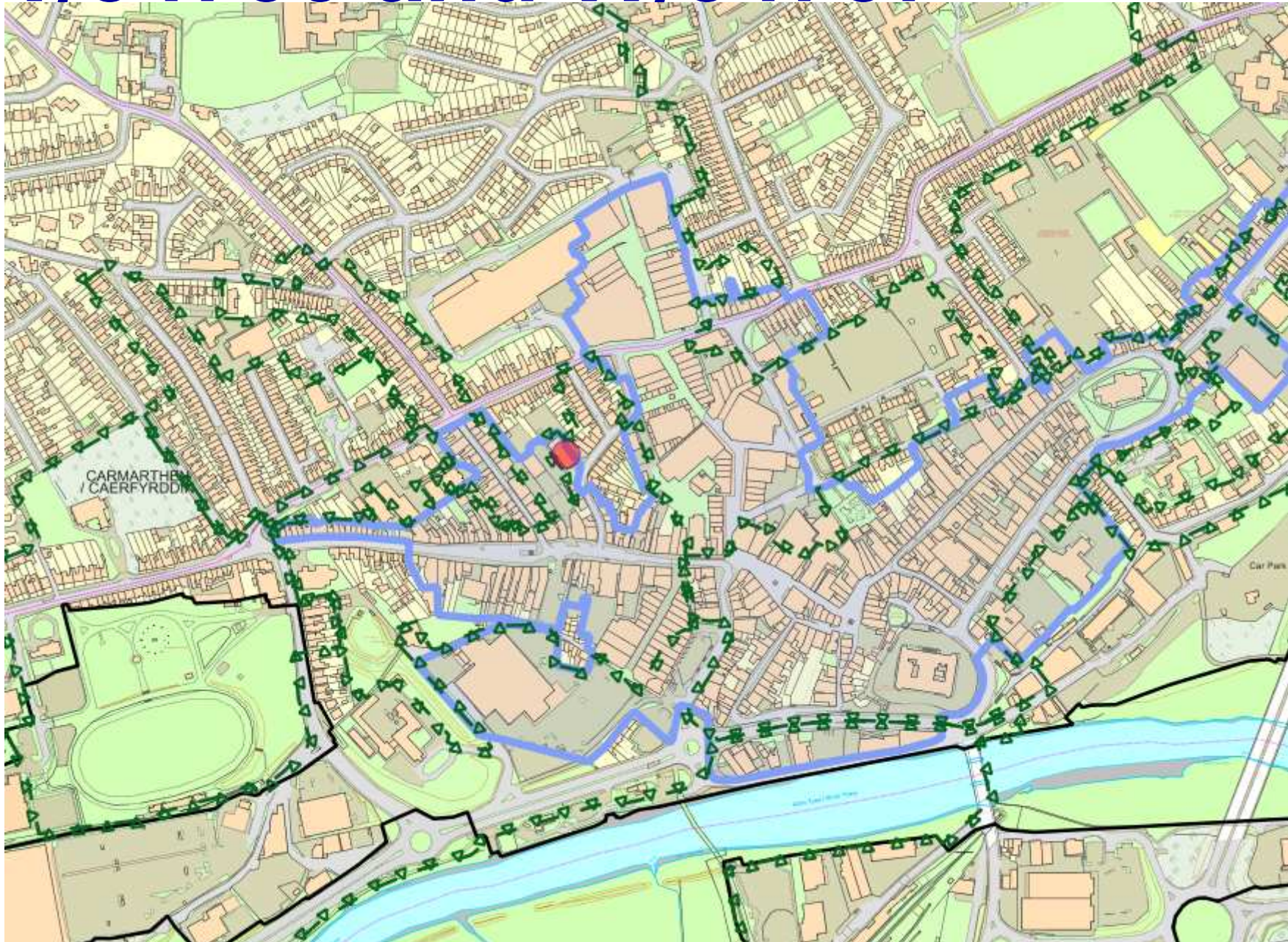
***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

ADDITIONAL ITEMS FOR DECISION

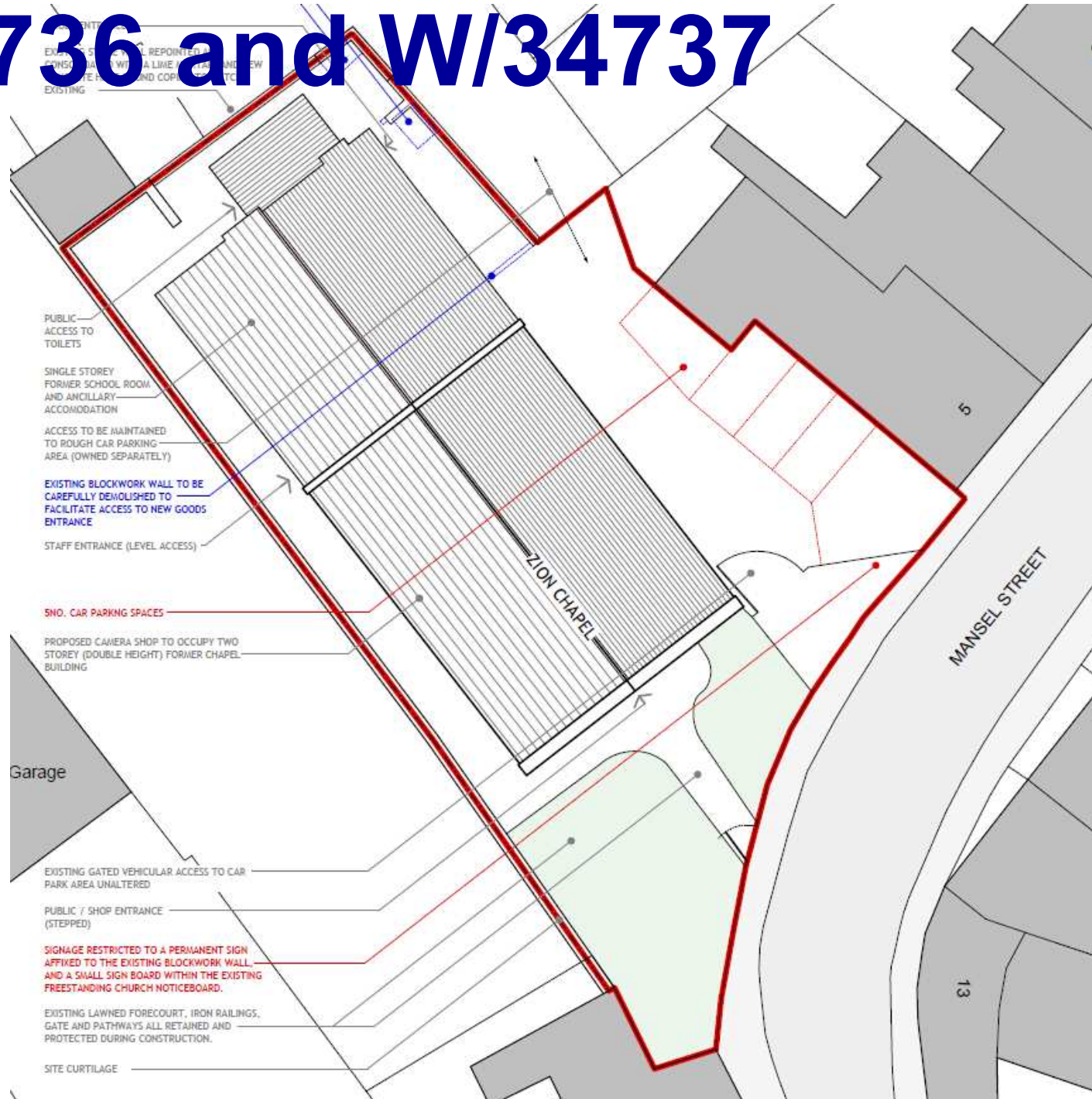


W/34736 and W/34737

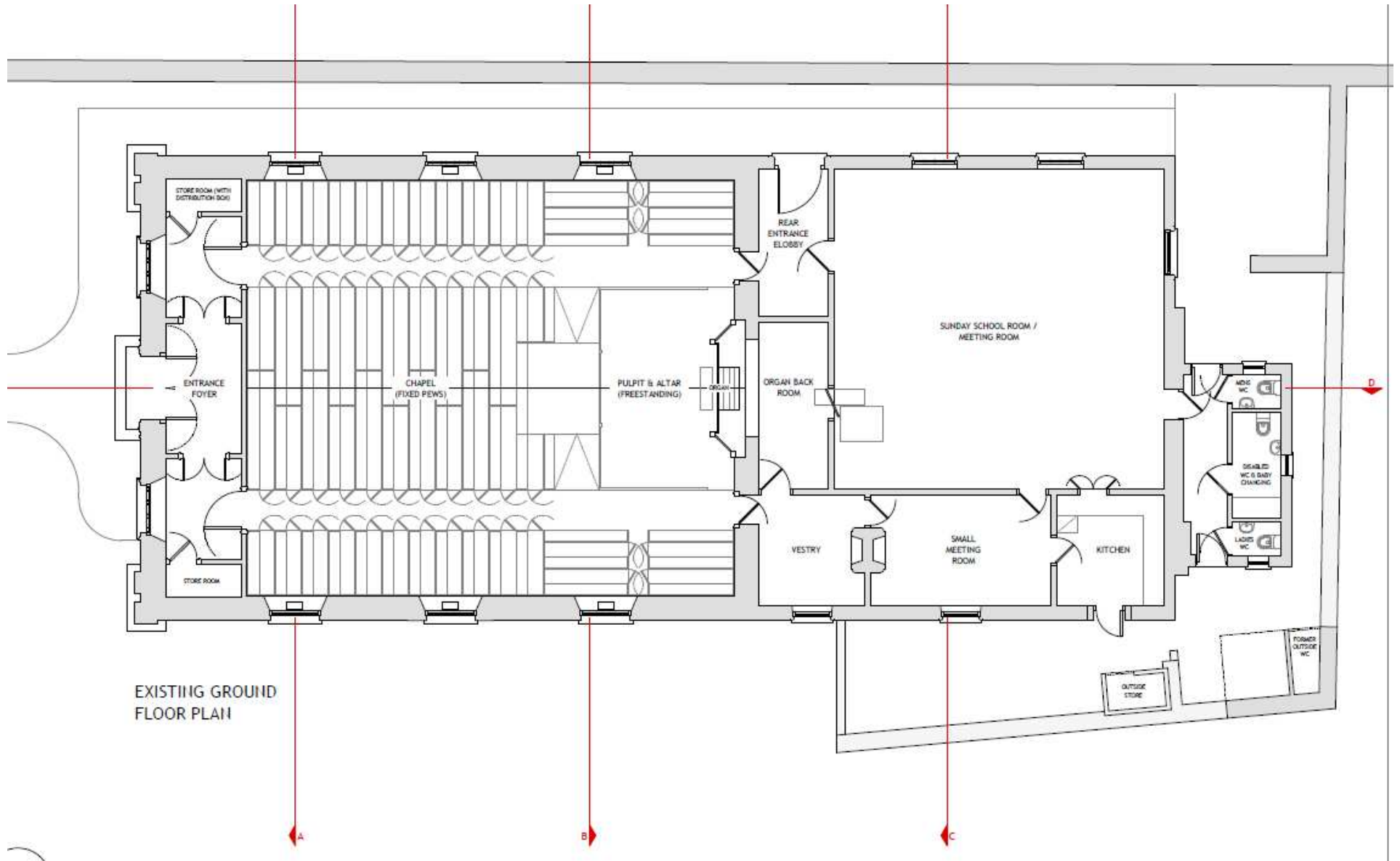
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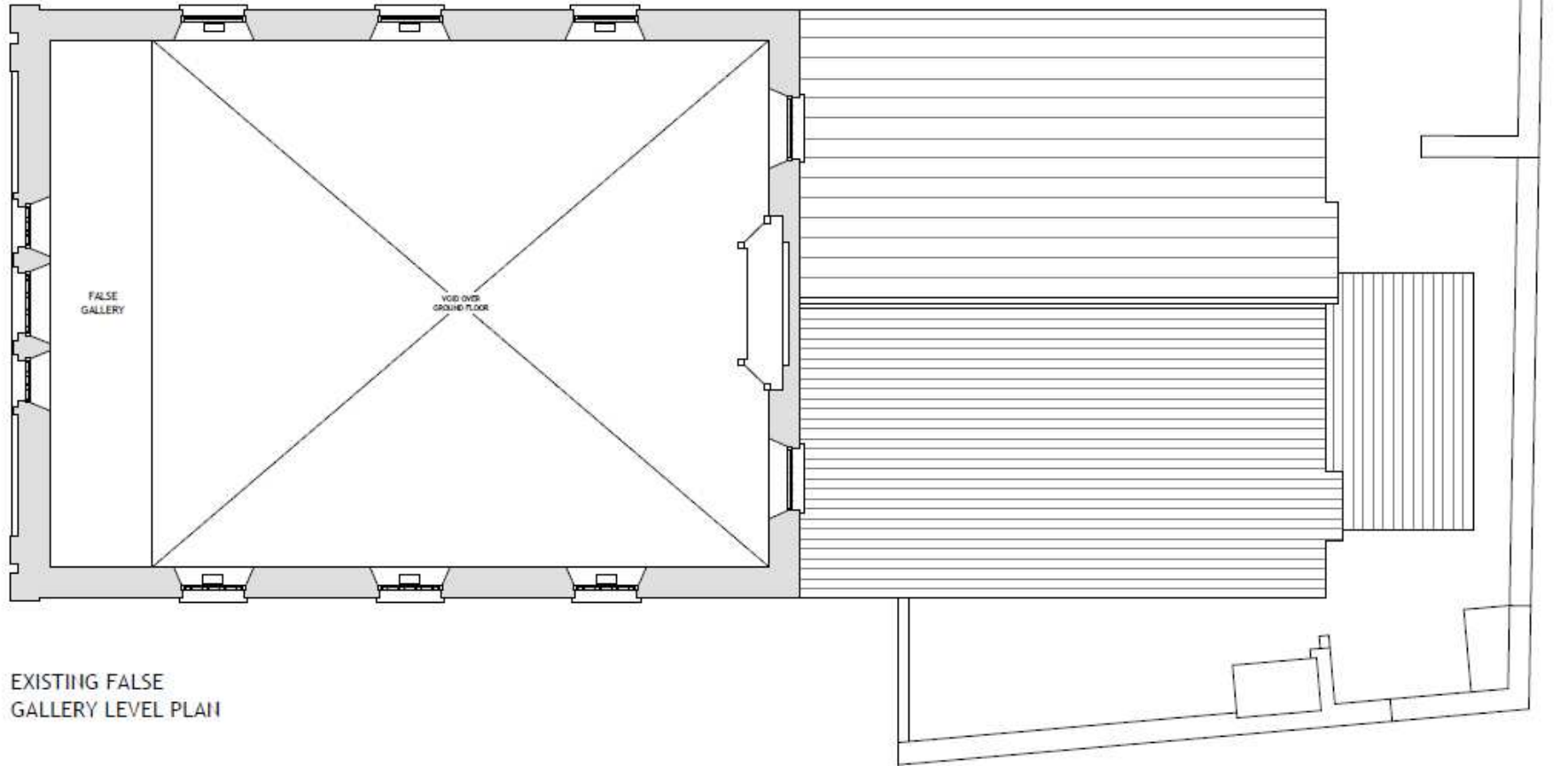
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W/34736 and W/34737

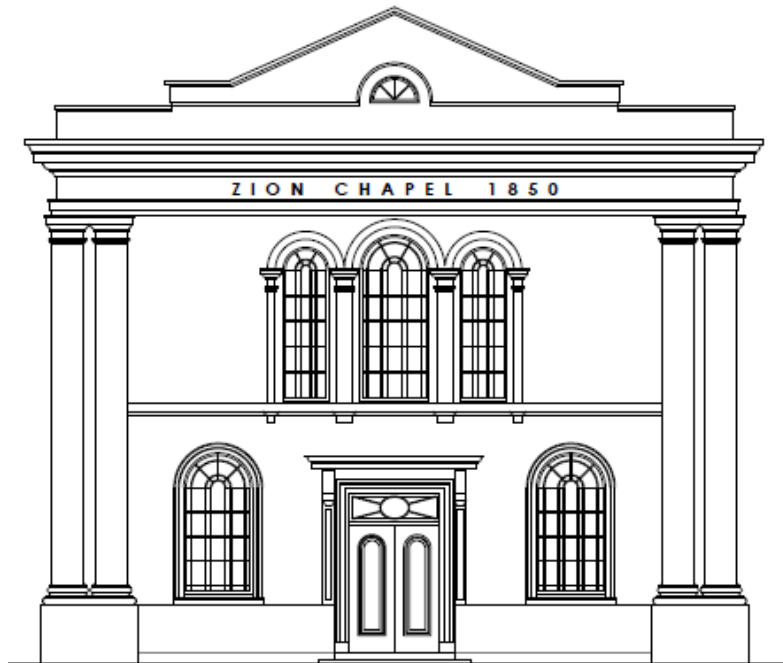


W/34736 and W/34737

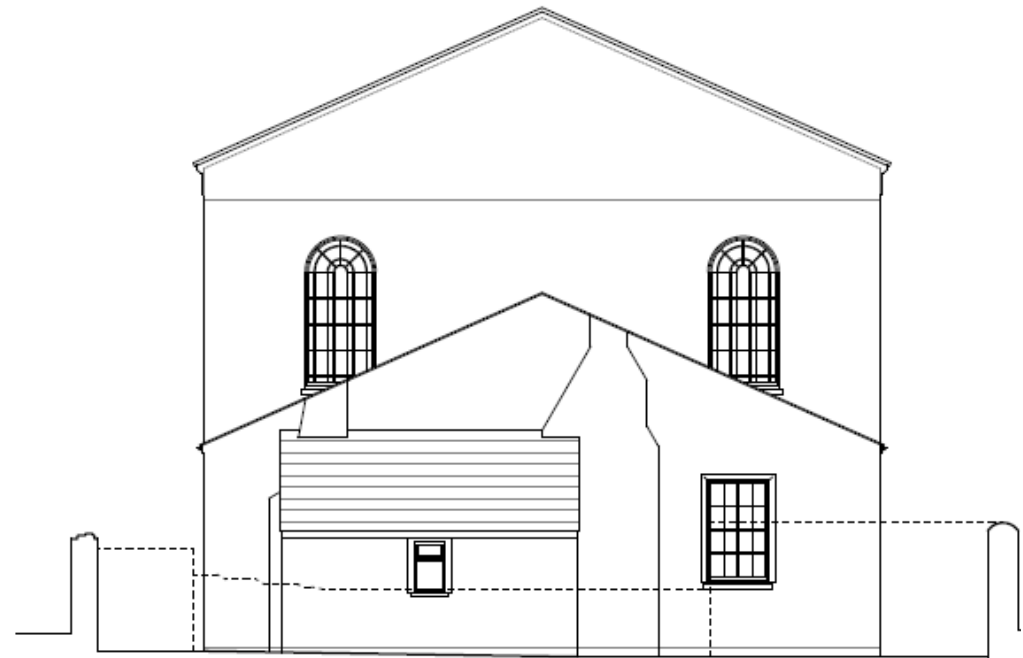


EXISTING FALSE
GALLERY LEVEL PLAN

W/34736 and W/34737



EXISTING SOUTH-EAST ELEVATION



EXISTING NORTH-WEST ELEVATION

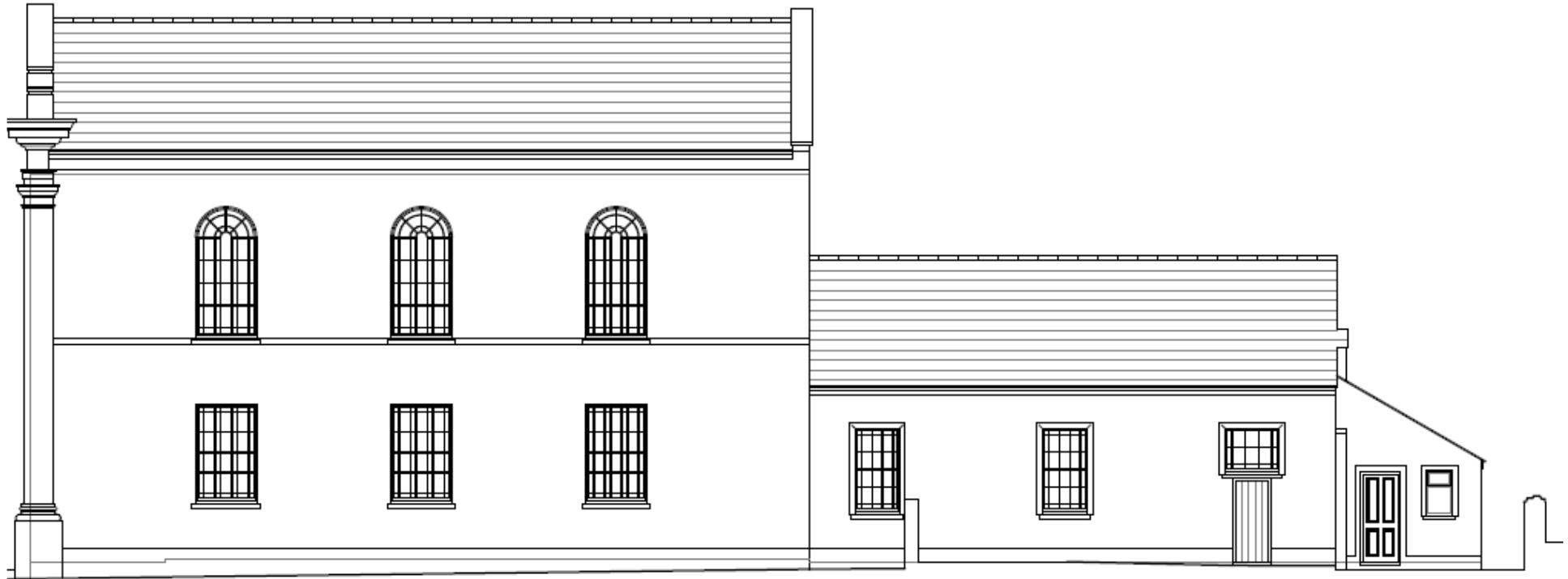
Tudalen 140

W/34736 and W/34737



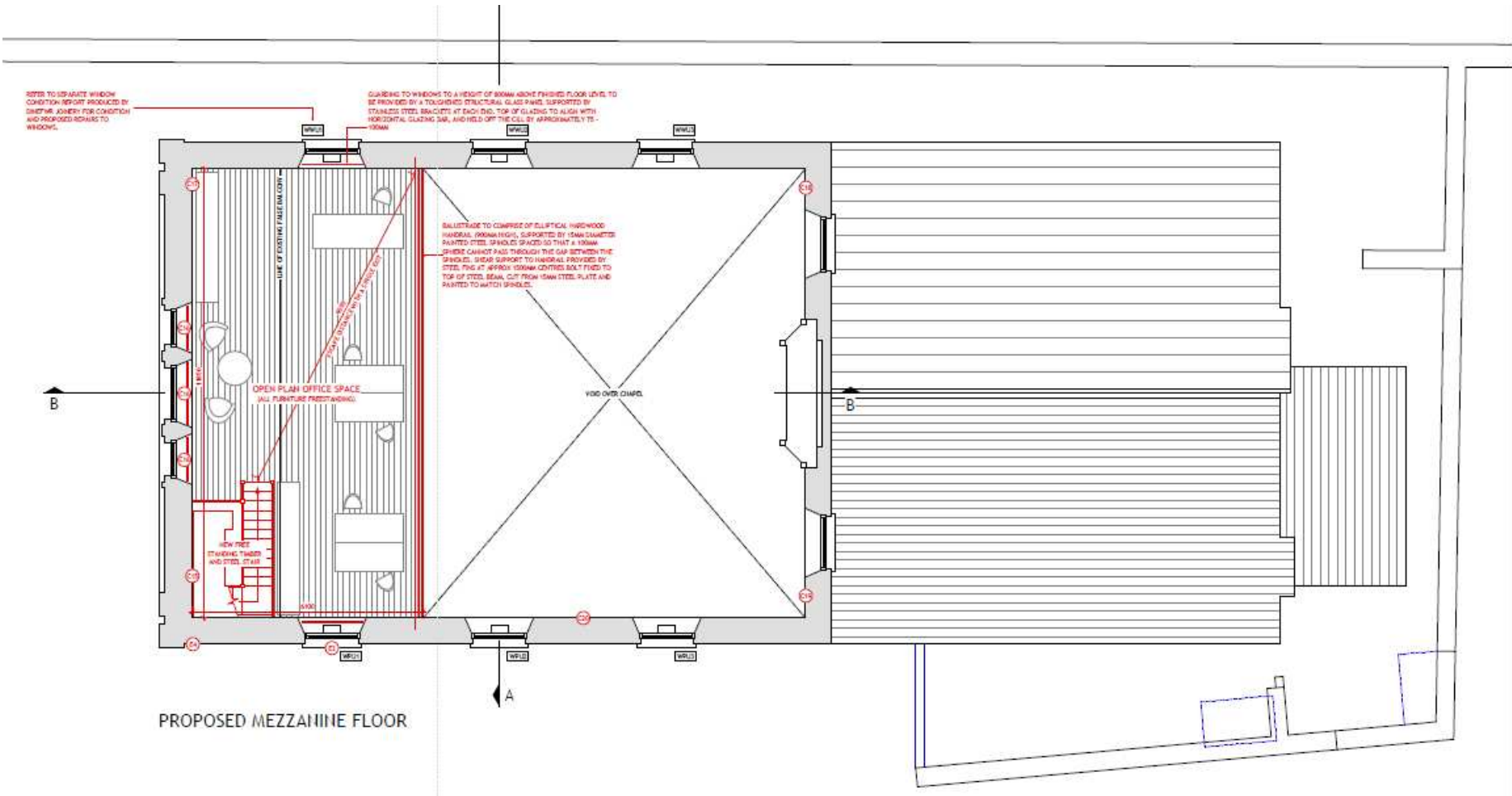
EXISTING SOUTH-WEST ELEVATION

W/34736 and W/34737

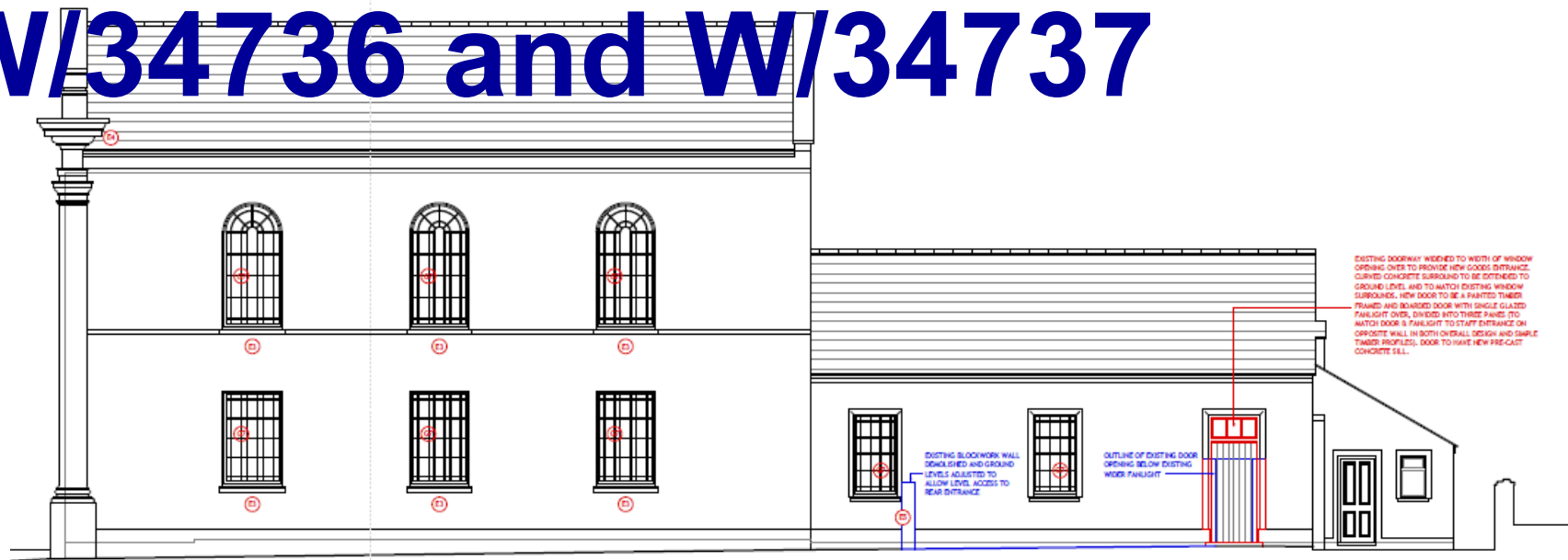


EXISTING NORTH-EAST ELEVATION

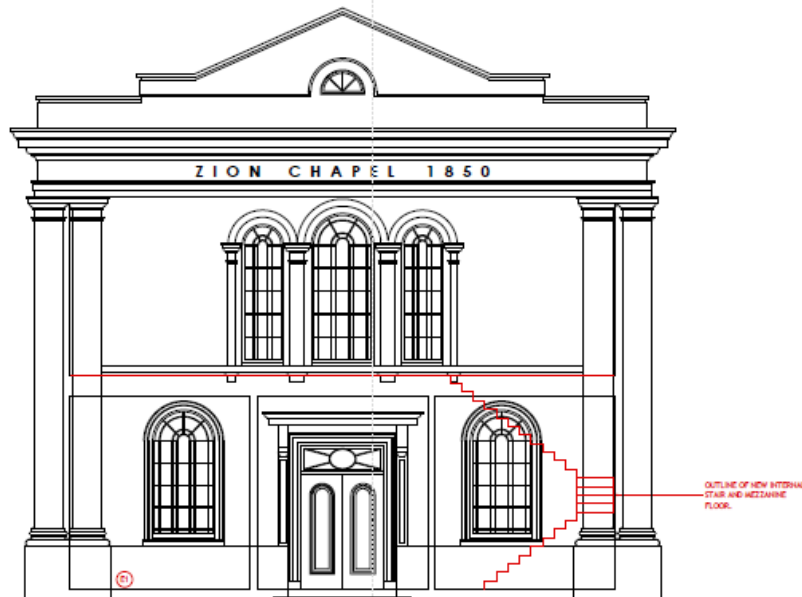
W/34736 and W/34737



W/34736 and W/34737



PROPOSED NORTH-EAST ELEVATION

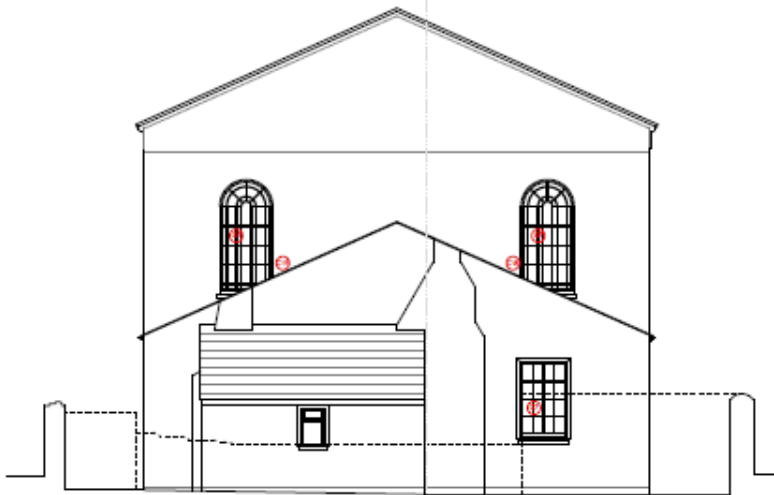


- LEGEND
- EXISTING BUILDING FABRIC
 - EXISTING BUILDING FABRIC (CAREFULLY REMOVED)
 - NEW BUILDING WORK

W/34736 and W/34737



PROPOSED SOUTH-WEST ELEVATION



PROPOSED NORTH-WEST ELEVATION

LEGEND

- EXISTING BUILDING FABRIC
- EXISTING BUILDING FABRIC (CARFULLY REMOVED)
- NEW BUILDING WORK

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info@watfarchitects.co.uk

LEADER	Mathew Whittall-Williams/ Carmarthen Camera Centre Ltd
FOR	Zion Chapel, Carmarthen
PROJECT	Proposed South-West & North-West Elevations

Tudalen 146

W/34736 and W/34737



W/34736 and W/34737



Tudalen 148

W/34736 and W/34737



W/34736 and W/34737



W/34736 and W/34737



W/34736 and W/34737



Tudalen 152

W/34736 and W/34737



W/34736 and W/34737



Tudalen 154

W/34736 and W/34737

